



Agenda Item No. 11.

Staff Report

Date: February 13, 2025
To: Mayor Kircher and Council Members
From: Alex Lopez-Vega, Assistant Planner
Subject: Glenwood Ross LLC Residence, 21 Glenwood Avenue

Recommendation

Town Council consideration for Design Review and a Demolition Permit for the project described below located at 21 Glenwood Avenue. The Town Council may adopt Resolution No. 2504 (Attachment 1) approving the project, subject to conditions.

Property Owner: Glenwood Ross LLC
Applicant: Sutro Architects
Street Address: 21 Glenwood Avenue
Parcel Number: 073-121-09
Zoning: R-1: B-A
General Plan: VL (Very Low Density)
Flood Zone: X (Moderate to Low)

Project Data

	Code Standard	Existing	Proposed
Lot Area	1 Acre	63,464 SF	No change
Building Coverage	15%	6.7%	7.4%
Floor Area (FAR)	15 %	6,492 SF (10.2 %)	8,839 SF (13.9%)
Front Setback	25'	115'	No change
Rear Setback	40'	3'	No change
Building Height	30'	37'	No change
Parking Spaces	4 (2 covered)	2 (2 covered)	6 (2 covered)

	Code Standard	Existing	Proposed
Impervious Surface Coverage	Minimize and/or mitigate for any increase.	17,793 SF	18,735 SF

Project Description:

The applicant requests approval from the Town Council for Design Review and a Demolition Permit. The project includes both interior and exterior renovations, along with several additions: a family dining area on the main floor, a second-story addition, a basement addition, and a new pool house, totaling 2,347 square feet (SF) of new floor area. The remodel will also update the south and west facades by adding A-frames to match the existing single-family home. Additionally, all existing siding will be removed, and the house will be clad in clear-stained yellow cedar shingles. The guest house and tea house will receive new windows and a limited interior remodel. A demolition permit is required for alterations affecting more than twenty-five percent of the residence’s exterior walls or wall coverings.

Furthermore, the project involves rehabilitating the existing landscape, which includes adding a new spa, retaining walls, and lawn, as well as reducing the planting bed in front of the home to accommodate a fire truck turnaround. A half-court sport court will be installed in the southeast section of the lot.

Impervious Surfaces

The project proposes an impervious surface increase of 942 SF. A new 432 SF bioretention area for stormwater control is included to meet the Town’s no net increase policy.

Project plans are included as **Attachment 2**; Project Application and Materials are included as **Attachment 3**.

The proposed project is subject to the following permit approval:

- **Design Review Permit is required pursuant to RMC Section 18.41.010** to allow the construction of all new buildings and for all exterior remodeling resulting in additions, extensions or enlargements to existing buildings exceeding two hundred square feet of new floor area; the construction of any retaining wall greater than forty-eight inches in height as measured from bottom of footing to top of wall or any terraced retaining walls totaling more than forty-eight inches in height; a project resulting in more than 50 cubic yards of grading or filling; a project resulting in over 1,000 square feet of new impervious landscape surface; and redevelopment, rehabilitation, and/or renovation of existing landscape over 2,500 square feet.
- **Demolition Permit is required pursuant to RMC Chapter 18.50.020** to allow for alteration of more than twenty-five percent of exterior wall coverings of a residence.

Background

The project site is a 63,464 square-foot lot on the corner of Glenwood Avenue and Upper Road. The lot has a single-family residence which includes an attached garage, tea house, guest house, carriage house and a pool. The property is home to an extensive collection of trees and mature vegetation.

Advisory Design Review

Pursuant to Resolution No. 1990, Advisory Design Review is required for all applicants seeking discretionary land use permits, such as Design Review, a Demolition Permit, a Nonconformity Permit, Exceptions for Attics, a Hillside Lot Permit, and/or a Variance.

On January 21, 2025, with a vote of 3-0-1-1 (for-against-absent-recusal), the Advisory Design Review (ADR) group expressed their support for the project. ADR members expressed concerns about the retaining wall located within the setback and its visibility from the adjacent property. They also suggested that the octagonal breakfast nook and flat dormer could better align with the overall design of the house but left that up to the applicant. Public comments were made by two of the neighbors requesting screening of the retaining walls and management of construction traffic and parking. In response, the applicant updated the Landscape Plan to include additional screening to soften the wall along with a Construction Management Plan to address these comments. The ADR group recommends that the project is consistent with the purpose of Design Review and the Design Review criteria and standards per Section 18.41.100, and, therefore, recommended approval of Design Review.

Draft minutes of the January 21, 2025, ADR meeting are included as **Attachment 4**.

Discussion

The proposed project is subject to the following permit approvals pursuant to the Ross Municipal Code (RMC):

Design Review

Design Review is intended to guide new development to preserve and enhance the special qualities of Ross and to sustain the beauty of the town's environment. Other specific purposes include: provide excellence of design for all new development which harmonizes style, intensity and type of construction with the natural environment and respects the unique needs and features of each site and area; preserve and enhance the historical "small town," low-density character and identity that is unique to the Town of Ross, and maintain the serene, quiet character of the town's neighborhoods; and preserve lands which are unique environmental resources including scenic resources (ridgelines, hillsides and trees), vegetation and wildlife habitat, creeks, threatened and endangered species habitat, open space and areas necessary to protect community health and safety.

The Town Council may approve, conditionally approve or deny an application for design review.

The Town Council shall include conditions necessary to meet the purpose of Design Review pursuant to Chapter 18.41 and for substantial compliance with the criteria set forth in this chapter. If Council intends to approve Design Review, staff recommends that the required findings for approval be satisfied for the proposed project, as follows:

- The project is consistent with the purpose of Design Review as outlined in Section 18.41.010. (Section 18.41.070 (b) (1))
- The project is in substantial compliance with the design criteria of Section 18.41.100. (Section 18.41.070 (b) (2))
- The project is consistent with the Ross General Plan and zoning ordinance. (Section 18.41.070 (b) (3))

Staff recommends approval of Design Review, as summarized below and as supported by the findings in Exhibit "A" of the attached Resolution.

The project provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," low-density character and identity that is unique to the Town of Ross; preserve lands which are unique environmental resources; enhances the area in which the project is located; and promotes and implements the design goals, policies, and criteria of the Ross General Plan. The project proposes materials and colors that minimize visual impacts, blend with the existing landforms and vegetative cover, are compatible with structures in the neighborhood and do not attract attention to the structures. Exterior lighting is shielded and directed downward to avoid creating glare, hazard or annoyance to adjacent property owners or passersby. Landscaping protects privacy between properties, all proposed lighting is down lit with covered bulbs. The post-project stormwater runoff rates from the site would be no greater than pre-project rates.

Demolition Permit

Pursuant to Section 18.50.20, the proposed project requires a Demolition Permit to alter more than twenty-five percent of the exterior walls or exterior wall coverings of a residence.

Staff recommends approval of the Demolition Permit, as summarized below and as supported by the findings in Exhibit "A" of the attached Resolution.

The project is consistent with the purpose of Design Review as outlined in Section 18.41.010. The demolition will not remove from the neighborhood or town, nor adversely affect, a building of historical, architectural, cultural or aesthetic value. The demolition will not adversely affect nor diminish the character or qualities of the site, the neighborhood or the community. The proposed redevelopment of the site protects the attributes, integrity, historical character and design scale of the neighborhood and preserves the "small town" qualities and feeling of the town. The project is consistent with the Ross general plan and zoning ordinance. The project is required to

comply with all applicable provisions, measures, and safeguards of the Town's building and safety codes, such that it would not cause detriment or injury to the health, safety, and general welfare of persons residing or working in the neighborhood.

Fiscal, Resource and Timeline Impacts

If approved, the project would be subject to one-time fees for a building permit and impact fees if applicable, which are based on the reasonable expected cost of providing the associated services and facilities related to the development. The improved project site may be reassessed at a higher value by the Marin County Assessor, leading to an increase in the Town's property tax revenues. Lastly, there would be no net funding impact associated with the project.

Alternative actions

1. Continue the item to gather further information, conduct further analysis, or revise the project; or
2. Make findings to deny the application.

Environmental Review

The project is categorically exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA), Section 15301 (Existing Facilities) consisting of an addition to an existing structure, and Section 15304 (Minor Alterations to Land), consisting of new landscaping, including walls, fences, plantings, decks and walkways, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination.

Public Comment

Public Notices were mailed to property owners within 300 feet of the project site 10 days prior to the meeting date. At the time of writing this report, no written public comments have been made.

Attachments

1. Resolution No. 2504
2. Project Plans
3. Project Application and Neighborhood Outreach
4. Draft ADR Meeting Minutes, January 21, 2025

ATTACHMENT 1

TOWN OF ROSS

RESOLUTION NO. 2504

RESOLUTION OF THE TOWN OF ROSS APPROVING DESIGN REVIEW AND A DEMOLITION PERMIT FOR BOTH INTERIOR AND EXTERIOR RENOVATIONS, ALONG WITH SEVERAL ADDITIONS TO THE SINGLE-FAMILY RESIDENCE AND TO REHABILITATE LANDSCAPING AT 21 GLENWOOD AVENUE A.P.N. 073-121-09

WHEREAS, the applicant, Sutro Architects, on behalf of property owners, Glenwood Ross LLC, submitted an application requesting approval of Design Review and a Demolition Permit to includes both interior and exterior renovations, along with several additions: a family dining area on the main floor, a second-story addition, a basement addition, and a new pool house, totaling 2,347 square feet (SF) of new floor area. Furthermore, the project involves rehabilitating the existing landscape, which includes adding a new spa, retaining walls, lawn, and a half-court sport court in the southeast section of the lot at 21 Glenwood Avenue APN 073-121-09 (herein referred to as “the Project”); and

WHEREAS, the Project is determined to be exempt from the requirement for the preparation of environmental documents under the California Environmental Quality Act (CEQA) Section 15301 (Existing Facilities) consisting of an addition to an existing structure, and Section 15304 (Minor Alterations to Land), consisting of new landscaping, including walls, fences, plantings, decking, spa and walkways; and

WHEREAS, on February 13, 2025, the Town Council held a duly noticed public hearing to consider the Project; and

WHEREAS, the Town Council has carefully reviewed and considered the staff reports, correspondence, and other information contained in the project file, and has received public comment; and

NOW, THEREFORE, BE IT RESOLVED the Town Council of the Town of Ross hereby incorporates the recitals above; makes the findings set forth in Exhibit “A” and approves Design Review and a Demolition Permit to approve the Project, subject to the Conditions of Approval attached as Exhibit “B”.

The foregoing resolution was duly and regularly adopted by the Ross Town Council at its regular meeting held on the 13th day of February 2025, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Cyndie Martel, Town Clerk

C. William Kircher, Mayor

EXHIBIT "A"
FINDINGS
21 Glenwood Avenue
A.P.N. 073-121-09

A. Findings

I. In accordance with Ross Municipal Code (RMC) Section 18.41.070, Design Review is approved based on the following mandatory findings:

a) The project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010.

As recommended by the Advisory Design Review (ADR) Group, the Project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010. It provides excellence of design consistent with the scale and quality of existing development; preserves and enhances the historical "small town," provides very low-density character and identity that is unique to the Town of Ross; enhances the area in which the Project is located; and promotes and implements the design goals, policies and criteria of the Ross General Plan.

b) The project is in substantial compliance with the design criteria of RMC Section 18.41.100.

As recommended by the Advisory Design Review (ADR) Group, the Project is in substantial compliance with the design criteria of RMC Section 18.41.100. The site would be kept in harmony with the general appearance of neighboring properties. Lot coverage and building footprints would be minimized, and development clustered, to minimize site disturbance area and preserve large areas of undisturbed space. Landscaping would be integrated into the architectural scheme to accent and enhance the appearance of the development, including attractive, fire-resistant, native species and replacement trees for trees removed by development. Landscaping would create and maintain defensible spaces around buildings and structures as appropriate to prevent the spread of wildfire. The Project would maximize permeability by adding a permeable portion to the driveway, and post-development stormwater runoff rates from the site would result in no net increase.

c) The project is consistent with the Ross General Plan and zoning ordinance.

The Project is consistent with the allowed uses and general development standards associated with the Medium Low-Density land use designation of the General Plan, the Single-Family Residence and Special Building Site zoning regulations, therefore the Project is found to be consistent with the Ross General Plan and Zoning Ordinance.

II. In accordance with RMC Section 18.50.050 (a) |, Demolition Permit is approved based on the following mandatory findings:

a) The demolition will not remove from the neighborhood or town, nor adversely affect,

a building of historical, architectural, cultural or aesthetic value. The demolition will not adversely affect nor diminish the character or qualities of the site, the neighborhood or the community.

The existing single-family dwelling will not be removed from the site, only the exterior siding and materials will be replaced, resulting in no adverse effects.

- b) The proposed redevelopment of the site protects the attributes, integrity, historical character and design scale of the neighborhood and preserves the "small town" qualities and feeling of the town.**

As recommended by the ADR Group, the Project is consistent with the purpose of the Design Review chapter as outlined in RMC Section 18.41.010. It preserves and enhances the low-density character and identity that is unique to the Town of Ross.

- c) The project is consistent with the Ross general plan and zoning ordinance.**

The Project is consistent with the allowed uses and general development standards associated with the Very Low Density land use designation of the General Plan, the Single Family Residence and Special Building Site zoning regulations, therefore the Project is found to be consistent with the Ross General Plan and Zoning Ordinance.

- d) The project will not, under the circumstances of the particular case, be detrimental to the health, safety or general welfare of persons residing or working in the neighborhood and will not be detrimental to the public welfare or injurious to property or improvements in the neighborhood**

The Project will avoid detriment to public welfare and material injury to properties in the vicinity by complying with the Design Review criteria and standards (RMC Section 18.41.100), building and fire codes.

EXHIBIT "B"
CONDITIONS OF APPROVAL
21 Glenwood Avenue
A.P.N. 073-121-09

1. The building permit shall substantially conform to the plans entitled, "Glenwood Ross LLC Residence" dated 1-21-25 and reviewed and approved by the Town Council on 2-13-25. The sports court shall be subject to all future rules and regulations related to pickleball.
2. Except as otherwise provided in these conditions, the Project shall comply with the plans submitted for Town Council approval. Plans submitted for the building permit shall reflect any modifications required by the Town Council and these conditions.
3. No changes from the approved plans, before or after project final, including changes to the materials and material colors, shall be permitted without prior Town approval. Red-lined plans showing any proposed changes shall be submitted to the Town for review and approval prior to any change. The applicant is advised that changes made to the design during construction may delay the completion of the Project and will not extend the permitted construction period. The Planning and Building Director may administratively approve an amendment to town council approved plans that the town planner determines to be in substantial conformity with the approved plans or minor or incidental in nature and consistent with the intent and criteria of this chapter and with zoning ordinance regulations.
4. The Project shall comply with the Fire Code and all requirements of the Ross Valley Fire Department (RVFD).
5. The applicant shall procure the necessary review/approval of the following items, which are required prior to issuance of a building permit. Evidence of compliance (compliance letter, etc.) shall be submitted to the Planning Department as part of the building permit review process:
 - a. All landscape and irrigation plans must be designed in accordance with the most current Marin Municipal Water District (MMWD) landscape requirements. Prior to providing water service for new landscape areas, or improved or modified landscape areas, MMWD must review and approve the landscape plans for planting and irrigation systems. Contact MMWD at plancheck@marinwater.org for more information.
 - b. New construction and rehabilitation (renovations or changes made to sites with an existing irrigation system) landscape projects will be affected by these requirements if the altered landscape area is greater than 500 square feet.
 - c. Installation of a gray water recycling system is required for all projects that require installation of new water service and existing structures undergoing "substantial

remodel” that necessitates an enlarged water service in compliance with MMWD Ordinance No. 429.

6. The Town staff reserves the right to require additional landscape screening for up to three (3) years from project final to ensure adequate screening for the properties that are directly contiguous to the project site. The Town staff will only require additional landscape screening if the contiguous neighbor can demonstrate through pre-project existing condition pictures that their privacy is being negatively impacted as a result of the Project.
7. BEFORE FINAL INSPECTION, the applicant shall call for a Planning staff inspection of approved landscaping, building materials and colors, lighting and compliance with conditions of project approval at least five business days before the anticipated completion of the Project. Failure to pass inspection will result in withholding of the Final Inspection approval and imposition of hourly fees for subsequent re-inspections.
8. A Tree Permit shall not be issued until the project grading or building permit is issued.
9. The Project shall comply with the following conditions of the Town of Ross Building Department and Public Works Department:
 - a. Any person engaging in business within the Town of Ross must first obtain a business license from the Town and pay the business license fee. Applicant shall provide the names of the owner, architects, engineers and any other people providing project services within the Town, including names, addresses, e-mail, and phone numbers. All such people shall file for a business license. A final list shall be submitted to the Town prior to project final.
 - b. A registered Architect or Engineer’s stamp and signature must be placed on all plan pages.
 - c. The building department may require the applicant to submit a deposit prior to building permit issuance to cover the anticipated cost for any Town consultants, such as the town hydrologist, review of the Project. Any additional costs incurred by the Town, including costs to inspect or review the Project, shall be paid as incurred and prior to project final.
 - d. The applicant shall submit an erosion control plan with the building permit application for review by the building staff and/or the Director of Public Works. The Plan shall include a signed statement by the soils engineer that erosion control is in accordance with Marin County Stormwater Pollution Prevention Program (MCSTOPP) standards. The erosion control plan shall demonstrate protection of disturbed soil from rain and surface runoff and demonstrate sediment controls as a “back-up” system (i.e., temporary seeding and mulching or straw matting).
 - e. No grading shall be permitted during the rainy season between October 15 and April 15 unless permitted in writing by the Planning and Building Director and/or Director of Public Works. Grading is considered to be any movement of earthen materials necessary for the

completion of the Project. This includes, but is not limited to cutting, filling, excavation for foundations, and the drilling of pier holes. It does not include the boring or test excavations necessary for a soils engineering investigation. All temporary and permanent erosion control measures shall be in place prior to October 1.

- f. The drainage design shall comply with the Town's stormwater ordinance (Ross Municipal Code Chapter 15.54). A drainage plan and hydrologic/hydraulic analysis shall be submitted with the building permit application for review and approval by the Building staff and/or the Public Works Director.
- g. An encroachment permit is required from the Department of Public Works prior to any work within a public right-of-way.
- h. The plans submitted for a building permit shall include a detailed construction and traffic management plan for review and approval of planning, building, public works staff and the police chief. The plan shall include as a minimum: tree protection, management of worker vehicle parking, location of portable toilets, areas for material storage, traffic control, method of hauling and haul routes, size of vehicles, and washout areas. The plan shall demonstrate that on-street parking associated with construction workers and deliveries are prohibited and that all project deliveries shall occur during the allowable working hours as identified in the below condition for Working Hours.
- i. The applicant shall submit a schedule that outlines the scheduling of the site development to the Building staff. The schedule should clearly show completion of all site grading activities prior to the winter storm season and include implementation of an erosion control plan. The construction schedule shall detail how the Project will be completed within the construction completion date provided for in the construction completion chapter of the Ross Municipal Code (Chapter 15.50).
- j. A preconstruction meeting with the property owner, project contractor, project architect, project arborist, representatives of the Town Planning, Building, Public Works and Ross Valley Fire Department is required prior to issuance of the building permit to review conditions of approval for the Project and the construction management plan.
- k. A copy of the building permit shall be posted at the site and emergency contact information shall be up to date at all times.
- l. Town staff shall have the right to enter the property at all times during construction to review or inspect construction, progress, compliance with the approved plans and applicable codes.
- m. Inspections shall not be provided unless the Town-approved building permit plans are available on site.

- n. Working Hours are limited to Monday to Friday 8:00 a.m. to 5:00 p.m. Construction is not permitted at any time on Saturday and Sunday or the following holidays: New Year's Day, Martin Luther King Day, President's Day, Memorial Day, Juneteenth, Independence Day, Labor Day, Veteran's Day, Thanksgiving Day, and Christmas Day. If the holiday falls on a Sunday, the following Monday shall be considered the holiday. If the holiday falls on a Saturday, the Friday immediately preceding shall be considered the holiday. Exceptions: 1.) Work done solely in the interior of a building or structure which does not create any noise which is audible from the exterior; or 2.) Work actually physically performed solely by the owner of the property, on Saturday between the hours of 10:00 a.m. and 4:00 p.m. and not at any time on Sundays or the holidays listed above. (RMC Sec. 9.20.035 and 9.20.060).
- o. Failure to comply in any respect with the conditions or approved plans constitutes grounds for Town staff to immediately stop work related to the noncompliance until the matter is resolved (Ross Municipal Code Section 18.39.100). The violations may be subject to additional penalties as provided in the Ross Municipal Code and State law. If a stop work order is issued, the Town may retain an independent site monitor at the expense of the property owner prior to allowing any further grading and/or construction activities at the site.
- p. Materials shall not be stored in the public right-of-way. The project owners and contractors shall be responsible for maintaining all roadways and rights-of-way free of their construction-related debris. All construction debris, including dirt and mud, shall be cleaned and cleared immediately. All loads carried to and from the site shall be securely covered, and the public right-of-way must be kept free of dirt and debris at all times. Dust control using reclaimed water shall be required as necessary on the site or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at site. Cover stockpiles of debris, soil, sand, or other materials that can be blown by the wind.
- q. Applicants shall comply with all requirements of all utilities including, the Marin Municipal Water District, Ross Valley Sanitary District, and PG&E prior to project final. Letters confirming compliance shall be submitted to the building department prior to project final.
- r. All electric, communication and television service laterals shall be placed underground unless otherwise approved by the director of public works pursuant to Ross Municipal Code Section 15.25.120.
- s. The Project shall comply with building permit submittal requirements as determined by the Building Department and identify such in the plans submitted for building permit.
- t. The applicant shall work with the Public Works Department to repair any road damage caused by construction. Applicant is advised that, absent a clear video evidence to the contrary, road damage must be repaired to the satisfaction of the Town prior to project

final. Damage assessment shall be at the sole discretion of the Town, and neighborhood input will be considered in making that assessment.

- u. Final inspection and written approval of the applicable work by Town Building, Planning and Fire Department staff shall mark the date of construction completion.
- v. The Public Works Department may require submittal of a grading security in the form of a Certificate of Deposit (CD) or cash to cover grading, drainage, and erosion control. Contact the Department of Public Works for details.
- w. BEFORE FINAL INSPECTION, the Soils Engineer shall provide a letter to the Department of Public Works certifying that all grading and drainage has been constructed according to plans filed with the grading permit and his/her recommendations. Any changes in the approved grading and drainage plans shall be certified by the Soils Engineer and approved by the Department of Public Works. No modifications to the approved plans shall be made without approval of the Soils Engineer and the Department of Public Works.
 - i. The existing vegetation shall not be disturbed until landscaping is installed or erosion control measures, such as straw matting, hydroseeding, etc., are implemented.
 - ii. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Department of Public Works prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way.
 - iii. The applicant shall provide a hard copy and a CD of an as-built set of drawings, and a certification from all the design professionals to the building department certifying that all construction was in accordance with the as-built plans and his/her recommendations.

10. The project shall comply with all requirements, standards, and policies of the Ross Municipal Code, General Plan, County of Marin, State, and Federal laws.

11. The applicants and/or owners shall defend, indemnify, and hold the Town harmless along with the Town Council and Town boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding (“action”) against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the Project or alleging any other liability or damages based upon, caused by, or related to the approval of the Project. The Town shall promptly notify the applicants and/or owners of any action. The Town, in its sole discretion, may tender the defense of the action to the applicants and/or owners or the Town may defend the action with its attorneys with all attorney fees and litigation costs incurred by the Town in either case paid for by the applicant and/or owners.

ATTACHMENT 2



ROSS RESIDENCE

21 GLENWOOD AVENUE, ROSS, CA 94957

PERMIT SET

ADR SUBMITTAL - REVISION 2

PROJECT DIRECTORY:

OWNER:	GLENWOOD ROSS LLC 135 MAIN STREET, SUITE 850 SAN FRANCISCO, CA 94105	CONTACT:	PHILLIP LAU
ARCHITECT:	SUTRO ARCHITECTS 1055 POST STREET SAN FRANCISCO, CA 94109 www.sutroarchitects.com	CONTACT: TELEPHONE: EMAIL:	STEPHEN SUTRO 415.956.3445 ssutro@sutroarchitects.com
LANDSCAPE ARCHITECT:	ARTERRA LANDSCAPE ARCHITECTS 88 MISSOURI STREET SAN FRANCISCO, CA 94107 arterraf.com	CONTACT: TELEPHONE: EMAIL:	GRETCHEN WHITTIER 415.861.3100 gretchen@arterraf.com
STRUCTURAL ENGINEER:	HOLMES STRUCTURES 235 MONTGOMERY ST. SUITE 1250 SAN FRANCISCO, CA 94101 www.holmesstructures.com	CONTACT: TELEPHONE: EMAIL:	JAMIE STEINMAN 415.796.7135 jamie.steinman@holmes.us
CIVIL ENGINEER:	MUNSELLE CIVIL ENGINEERING 513 CENTER STREET HEALDSBURG, CA 95448 www.munsellecivil.com	CONTACT: TELEPHONE: EMAIL:	DAN HUGHES 707.775.8986 dan@munsellecivil.com

PROJECT DESCRIPTION:

PROJECT NAME:	ROSS RESIDENCE
DESCRIPTION OF WORK:	MAIN HOUSE: INTERIOR REMODEL & ADDITION AT SOUTH & WEST FACADES & ASSOCIATED STRUCTURAL WORK. GARAGE: NO WORK. GUEST HOUSE: NEW FINISHES AND FIXTURES AT INTERIOR, NEW WINDOW GOS AT WEST FACADE. TEA HOUSE: LIMITED INTERIOR REMODEL, REPLACEMENT OF WINDOWS T02, T03, T04. CARRIAGE HOUSE: LIMITED INTERIOR REMODEL ONLY. NEW PROPOSED POOL HOUSE. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR SITE SCOPE.
PROJECT ADDRESS:	21 GLENWOOD AVE, ROSS, CA 94957
ASSESSOR'S PARCEL NUMBER:	073-121-09
LOT AREA:	63,464 SF
ZONING DISTRICT:	R-1-B-A
TYPE OF CONSTRUCTION:	VB
SPRINKLER PROTECTION:	SPRINKLERED (UNDER DEFERRED SUBMITTAL)
OCCUPANCY TYPE / USE:	R-3 / SINGLE FAMILY RESIDENCE
DEFERRED PERMIT(S):	SPRINKLER
APPLICABLE BUILDING CODES:	2022 CALIFORNIA BUILDING CODE WITH LOCAL AMENDMENTS 2022 CALIFORNIA RESIDENTIAL CODE WITH LOCAL AMENDMENTS 2022 CALIFORNIA MECHANICAL CODE WITH LOCAL AMENDMENTS 2022 CALIFORNIA PLUMBING CODE WITH LOCAL AMENDMENTS 2022 CALIFORNIA ELECTRICAL CODE WITH LOCAL AMENDMENTS 2022 CALIFORNIA FIRE CODE WITH LOCAL AMENDMENTS 2022 CALIFORNIA ENERGY CODE WITH LOCAL AMENDMENTS 2022 CALIFORNIA GREEN BUILDING CODE W/ LOCAL AMENDMENTS 2022 TOWN OF ROSS MUNICIPAL CODE

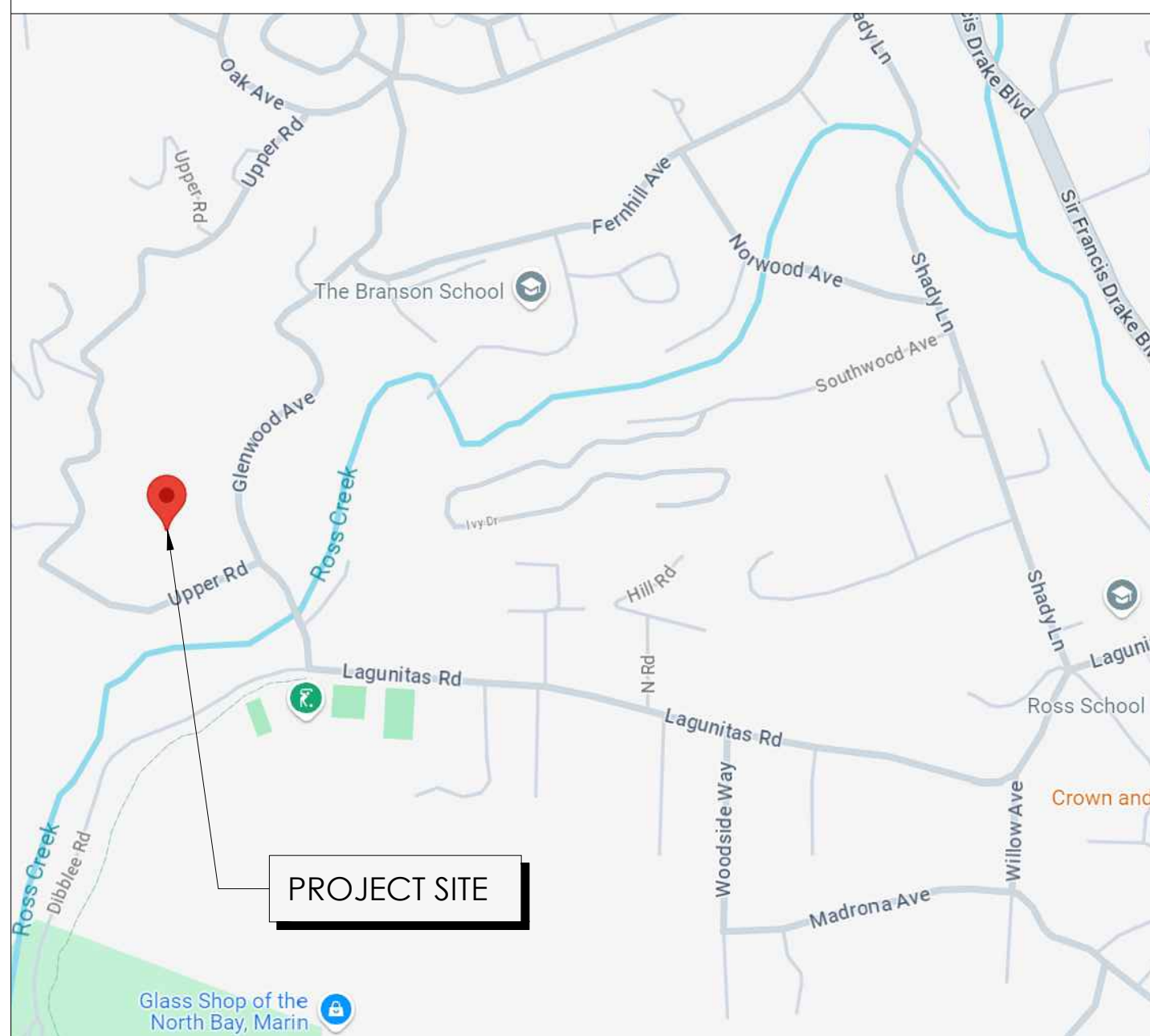
PROJECT DATA:

PROJECT ITEM	CODE STANDARD	EXISTING	PROPOSED
LOT AREA (SF)	43560 (1 ACRE)	63464	NO CHANGE
BUILDING COVERAGE (%)	15 MAX	6.7	7.4
FLOOR AREA RATIO (%)	15 MAX	10.2	13.9
TOTAL FLOOR AREA (SF)	9520 MAX	6492	8839
MAIN HOUSE BASEMENT		283	1610
MAIN HOUSE FIRST FLOOR		2423	2766
MAIN HOUSE SECOND FLOOR		1964	2506
GUEST HOUSE AREA		401	401
TEA HOUSE AREA		265	265
GARAGE AREA		471	471
MEDIA CENTER AREA		685	685
POOL HOUSE AREA		0	135
FRONT YARD SETBACK (FT)	25	115.1	NO CHANGE
NORTH SIDE YARD SETBACK	25	0	NO CHANGE
SOUTH SIDE YARD SETBACK	25	11.5	NO CHANGE
BACK YARD SETBACK	40	3.67	NO CHANGE
BUILDING HEIGHT (FT)	30 MAX	37.33	NO CHANGE
NO. OF STORES		2	NO CHANGE
NO. OF BASEMENTS		1	NO CHANGE
PARKING SPACES	4 (2 COVERED)	2 (2 COVERED)	6 (2 COVERED)

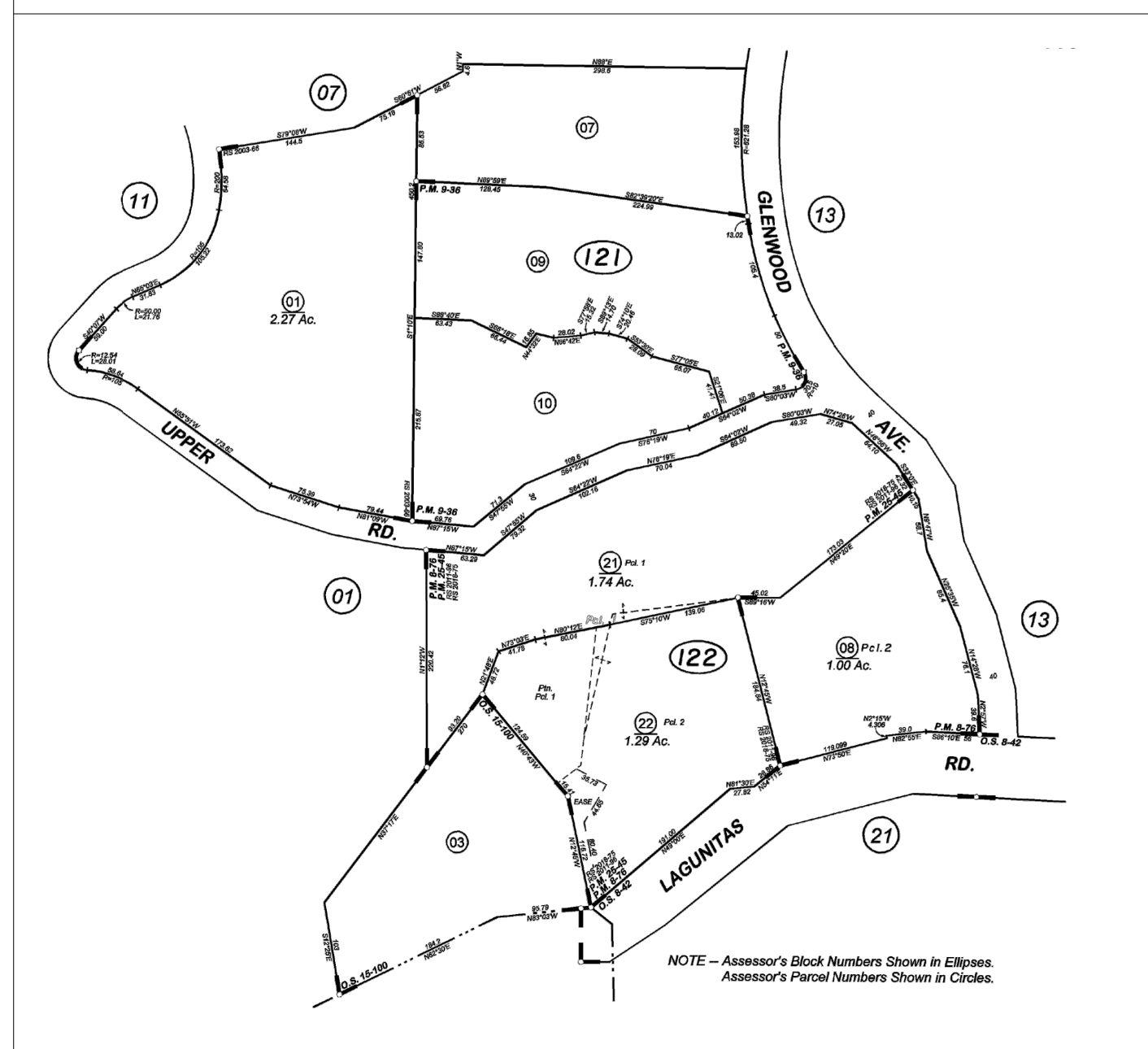
FRONT FACADE RENDERING:



VICINITY MAP:



ASSESSOR'S PARCEL MAP:



SHEET INDEX:

REVISION	DATE	DESCRIPTION	SHEET(S)
02.03.2025 - TOWN COUNCIL REVIEW			
01.10.2025 - ADR REVISION 2			
12.11.2024 - ADR REVISION 1			
11.18.2024 - ADR SUBMITTAL			

ARCHITECTURAL DRAWINGS	(38 SHEETS)
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■ A0.1 GENERAL NOTES	
■ A0.2 RENDERINGS - MAIN HOUSE	
■ A0.3 RENDERINGS - MAIN HOUSE	
■ A0.4 RENDERINGS - POOL HOUSE	
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■ A0.6 MATERIALS BOARD	
■ A1.0 EXISTING/DEMO SITE PLAN	
■ A1.1 PROPOSED SITE PLAN	
■ A1.2 PROPOSED CONSTRUCTION MANAGEMENT PLAN	
■ A1.3 PROPOSED CONSTRUCTION PHASING PLAN	
■ A2.0 DEMO PLAN: MAIN HOUSE BASEMENT	
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■ A2.2 DEMO PLAN: MAIN HOUSE FIRST LEVEL	
■ A2.3 PROPOSED PLAN: MAIN HOUSE FIRST LEVEL	
■ A2.4 DEMO PLAN: MAIN HOUSE SECOND LEVEL	
■ A2.5 PROPOSED PLAN: MAIN HOUSE SECOND LEVEL	
■ A2.6 DEMO PLAN: MAIN HOUSE ROOF	
■ A2.7 PROPOSED PLAN: MAIN HOUSE ROOF	
■ A2.8 DEMO & PROPOSED PLANS: TEA HOUSE & GUEST HOUSE	
■ A2.9 DEMO & PROPOSED PLANS: CARRIAGE HOUSE & POOL HOUSE	
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■ A2.11 EXISTING PLANS: GARAGE	
■ A5.0 EXISTING / DEMO ELEVATION: NORTH	
■ A5.1 PROPOSED ELEVATION: NORTH	
■ A5.2 EXISTING / DEMO ELEVATION: EAST	
■ A5.3 PROPOSED ELEVATION: EAST	
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■ A5.5 PROPOSED ELEVATION: SOUTH	
■ A5.6 EXISTING / DEMO ELEVATION: WEST	
■ A5.7 PROPOSED ELEVATION: WEST	
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■ A5.10 EXTERIOR ELEVATIONS: CARRIAGE HOUSE & POOL HOUSE	
■ A6.0 EXISTING / DEMO BUILDING SECTION: LONGITUDINAL	
■ A6.1 PROPOSED BUILDING SECTION: LONGITUDINAL	
■ A6.2 EXISTING / DEMO BUILDING SECTION: CROSS	
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■ A8.0 WINDOW SCHEDULE	
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CIVIL ENGINEERING DRAWINGS	(7 SHEETS)
■ C1 COVER SHEET, NOTES, LOCATION MAP	
■ C2 OVERALL SITE PLAN	
■ C3 GRADING AND DRAINAGE PLAN	
■ C4 DRAINAGE PLAN	
■ C5 EROSION CONTROL PLAN AND DETAILS	
■ C6 DETAILS	
■ H1 PRE-POST HYDROLOGY MAPS	

LANDSCAPE ARCHITECTURE DRAWINGS	(12 SHEETS)
■ L0.01 COVER SHEET	
■ L0.10 SITE PLAN	
■ L0.11 ENLARGED LAYOUT PLAN	
■ L0.12 TREE PROTECTION PLAN	
■ L0.30 VEGETATION MANAGEMENT SITE PLAN	
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■ L0.41 IRRIGATION ZONE PLAN & WELO CALCULATIONS	
■ L0.50 LIGHTING PLAN	
■ L0.51 LIGHTING CUT SHEETS	
■ L1.20 SECTIONS AND ELEVATIONS	

TOTAL # SHEETS: 61

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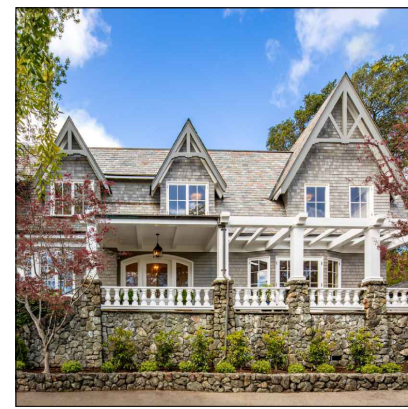


ADR SUBMITTAL 11.22.2024
ADR REVISION 01 12.11.2024
ADR REVISION 02 01.10.2025
ADR REVISION 03 02.03.2025

COVER SHEET

NO SCALE
A0.0

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ABBREVIATIONS:

ADJ.	ADJUSTABLE	MTD.	MOUNTED
A.F.F.	ABOVE FINISH FLOOR	MUL.	MULLION
AGGR.	AGGREGATE	[N]	NEW
ALT.	ALTERNATE	N.	NORTH
ALUM.	ALUMINUM	N.L.C.	NOT IN CONTRACT
APPROX.	APPROXIMATE	NO.OR#	NUMBER
ARCH.	ARCHITECTURAL	NOM.	NOMINAL
BD.	BOARD	N.T.S.	NOT TO SCALE
BITUM.	BITUMINOUS	O.	OWNER
BLDG.	BUILDING	O.C.	ON CENTER
BLK.	BLOCK	OPNG.	OPENING
BLKG.	BLOCKING	OPP.	OPPOSITE
BM.	BEAM	PACG & E	PACIFIC GAS & ELECTRIC COMPANY
B.O.	BOTTOM OF	P.P.	POURED IN PLACE
C.L.	CENTERLINE	PL.	PLATE
CAB.	CABINET	PLAST.	PLASTER
CEM.	CEMENT	PLBGS.	PLUMBING
CHIM.	CHIMNEY	PLYWD.	PLYWOOD
CLG.	CEILING	PNT.	PAINT
CLR.	CLEAR	PR.	PAIR
C.M.U.	CONCRETE MASONRY UNIT	P.S.I.	PER SQUARE INCH
COL.	COLUMN	PT.	POINT
CONC.	CONCRETE	P.T.	PRESSURE TREATED
CONSTR.	CONSTRUCTION	PTD.	PAINTED
CONT.	CONTINUOUS	Q.T.	QUARRY TILE
CTR.	CENTER	R.	RISER
C.W.	COLD WATER	R.A.	RETURN AIR
D.	DRYER	R.C.P.	REFLECTED CEILING PLAN
DBL.	DOUBLE	R.D.	ROOF DRAIN
DET.	DETAIL	REC.	RECESSED
DIA.	DIAMETER	REF.	REFERENCE
DIM.	DIMENSION	REFL.	REFLECTED
DN.	DOWN	REFR.	REFRIGERATOR
DR.	DOOR	REG.	REGISTER
D.S.P.	DRY STANDPIPE	REIN.	REINFORCED
D.W.	DISHWASHER	REQ'D.	REQUIRED
DWG.	DRAWING	RET.	RETAINING
DWR.	DRAWER	REV.	REVISION, REVISED, REVERSED
(E)	EXISTING	ROOM	ROOM
EA.	EACH	R.O.	ROUGH OPENING
ELEV.	ELEVATION	R.W.L.	RAIN WATER LEADER
ELEC.	ELECTRICAL	S.	SOUTH
ENCL.	ENCLOSURE	S.A.D.	SEE ARCHITECTURAL DRAWINGS
E.O.	EDGE OF	S.C.	SOLID CORE
EQ.	EQUAL	S.C.E.D.	SEE CIVIL ENGINEERING DRAWINGS
EQUIP.	EQUIPMENT	SCHED.	SCHEDULE
EXIST.	EXISTING	SECT.	SECTION
EXP.	EXPANSION	SEP.	SEPARATION
EXT.	EXTERIOR	SERV.	SERVICE
F.A.	FIRE ALARM	SH.	SHIELD
F.A.U.	FORCED AIR UNIT	S.H.	SHOWER HEAD
F.D.	FLOOR DRAIN	SHR.	SHOWER
FIN.	FINISH	SHT.	SHEET
FKT.	FIXTURE	SHTG.	SHEDDING
FL.	FLOOR	SIM.	SIMILAR
FLASH.	FLASHING	SL.	SLIDING
FLUOR.	FLUORESCENT	S.L.D.	SEE LANDSCAPE DRAWINGS
F.O.C.	FACE OF CONCRETE	S.M.D.	SEE MECHANICAL DRAWINGS
F.O.F.	FACE OF FINISH	S.P.D.	SEE PLUMBING DRAWINGS
F.O.M.	FACE OF MASONRY	SPEC.	SPECIFICATION
F.O.PLY	FACE OF PLYWOOD	SQ.	SQUARE
F.O.S.	FACE OF STUDS	STA.	STATION
F.P.	FIREPROOF	ST.NL.	STAINLESS STEEL
FR.	FRAME	S.S.D.	SEE STRUCTURAL DRAWINGS
FT.	FOOT OR FEET	STD.	STANDARD
FURR.	FURRING	STL.	STEEL
FUT.	FUTURE	STN.	STONE
G.	GAS OUTLET	STOR.	STORAGE
GA.	Gauge	STRUCT.	STRUCTURAL
GALV.	GALVANIZED	SUSP.	SUSPENDED
G.C.	GENERAL CONTRACTOR	S.V.	SHEET VINYL
G.D.	GARBAGE DISPOSAL	S.W.	SHEAR WALL
GEN.	GENERAL	SYM.	SYMMETRICAL
GL.	GRIDLINE	SYS.	SYSTEM
GND.	GROUND	T.O.C.	TOP OF CURB
G.O.	GAS OUTLET	TEL.	TELEPHONE
GR.	GRADE	TEMP.	TEMPERED
G.S.M.	GALVANIZED SHEET METAL	T & G	TONGUE & GROOVE
GYP.	GYPSONUM	THK.	THICK
H.B.	HOSE BIBB	THRU.	THROUGH
HD.	HEAD	T.O.	TOP OF
HDR.	HEADER	T.O.C.	TOP OF CONCRETE
HGR.	HANGER	T.O.P.	TOP OF PLATE
HORIZ.	HORIZONTAL	T.O.PLY	TOP OF PLYWOOD
H.R.	HANDRAIL	T.O.W.	TOP OF WALL
HT.	HEIGHT	TYP.	TYPICAL
H.W.H.	HOT WATER HEATER	U.B.C.	UNIFORM BUILDING CODE
IN.	INCH	UNF.	UNFINISHED
INSUL.	INSULATION	U.O.N.	UNLESS OTHERWISE NOTED
INT.	INTERIOR	VEN.	VENEER
JST.	JOIST	VERT.	VERTICAL
JT.	JOINT	VEST.	VESTIBULE
LAM.	LAMINATE	V.I.F.	VERIFY IN FIELD
LAV.	LAVATORY	VOL.	VOLUME
LT.FIXT.	LIGHT FIXTURE	W.C.	WATER CLOSET OR WALL COVERING
LN.	LINEAR	WD.	WOOD
LN.	LINE	W.D.	WASHER / DRYER
LT.	LIGHT	W.H.	WATER HEATER
MACH.	MACHINE	W/O	WITHOUT
MAINT.	MAINTENANCE	W.P.	WATERPROOFING
MAT.	MATERIAL	W.P.M.	WATERPROOF MEMBRANE
MAX.	MAXIMUM	WT.	WEIGHT
MECH.	MECHANICAL	W.R.	WATER RESISTANT
MEMB.	MEMBRANE		
MTL.	METAL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MIR.	MIRROR		
MISC.	MISCELLANEOUS		
MSRY.	MASONRY		

GENERAL NOTES:

- ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH, U.O.N.
- VERIFY ALL EXISTING DIMENSIONS & CONDITIONS AT THE SITE & NOTIFY ARCHITECT OF ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO BIDDING OR COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
- CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
- ALL MATERIALS, WORKMANSHIP & METHODS SHALL CONFORM TO CURRENTLY ADOPTED CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), THE CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA CODE OF REGULATIONS & OTHER APPLICABLE CODES & ORDINANCES OF THE LOCAL JURISDICTION.
- SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
- CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.
- TREES LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTANT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF THE TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES.
- ALL TOILETS SHALL BE ULTRA-LOW FLUSH TOILETS WITH A MAXIMUM TANK SIZE OR FLUSH CAPACITY OF 1.28 GALLONS. ALL SHOWER HEADS SHALL HAVE A MAXIMUM FLOW CAPACITY OF 1.8 GALLONS PER MINUTE. ALL BATHROOM FAUCETS SHALL HAVE A MAXIMUM FLOW CAPACITY OF 1.2 GALLONS PER MINUTE, AND ALL HOT WATER FAUCETS THAT HAVE MORE THAN TEN FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVING SUCH FAUCET SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM.
- SHOWERS AND TUB SHALL USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. (CPC 408).
- GLAZING USED IN DOORS AND PANELS OF SHOWER AND TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS, LAMINATED SAFETY GLASS OR APPROVED PLASTIC OF A SHATTER-RESISTANT TYPE. (CBC 2406.4.5).
- SHOWER WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT OF 72" OR GREATER ABOVE DRAIN INLET.
- INSTALL CERTIFIED INSULATION MATERIALS PER THE TITLE 24 MANDATORY MEASURES CHECKLIST MF-1R. INSULATION INSTALLED SHALL MEET FLAME SPREAD & SMOKE DENSITY REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS.

SYMBOL LEGEND:

KEY NOTE

ROOM TAG

WALL TYPE

DOOR TAG

WINDOW TAG

CEILING HEIGHT

SPOT ELEVATION

ELEVATION DATUM

COLUMN GRIDLINE

DRAWING TITLE

PLAN DETAIL

ELEVATION

SECTION

INTERIOR ELEVATION

REGION

REVISION

FINISH TAG

BREAKLINE

NORTH ARROW

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11.22.2024

GENERAL NOTES
& PLOT PLAN

SCALE AS NOTED

A0.1

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1 EAST (FRONT) ELEVATION - EXISTING



2 EAST (FRONT) ELEVATION - PROPOSED



3 NORTHWEST ELEVATION - EXISTING



4 NORTHWEST ELEVATION - PROPOSED

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RENDERINGS
MAIN HOUSE

SCALE AS NOTED

A0.2

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1 SOUTH ELEVATION - EXISTING



2 SOUTH ELEVATION - PROPOSED



3 SOUTHEAST ELEVATION - EXISTING



4 SOUTHEAST ELEVATION - PROPOSED

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RENDERINGS
MAIN HOUSE

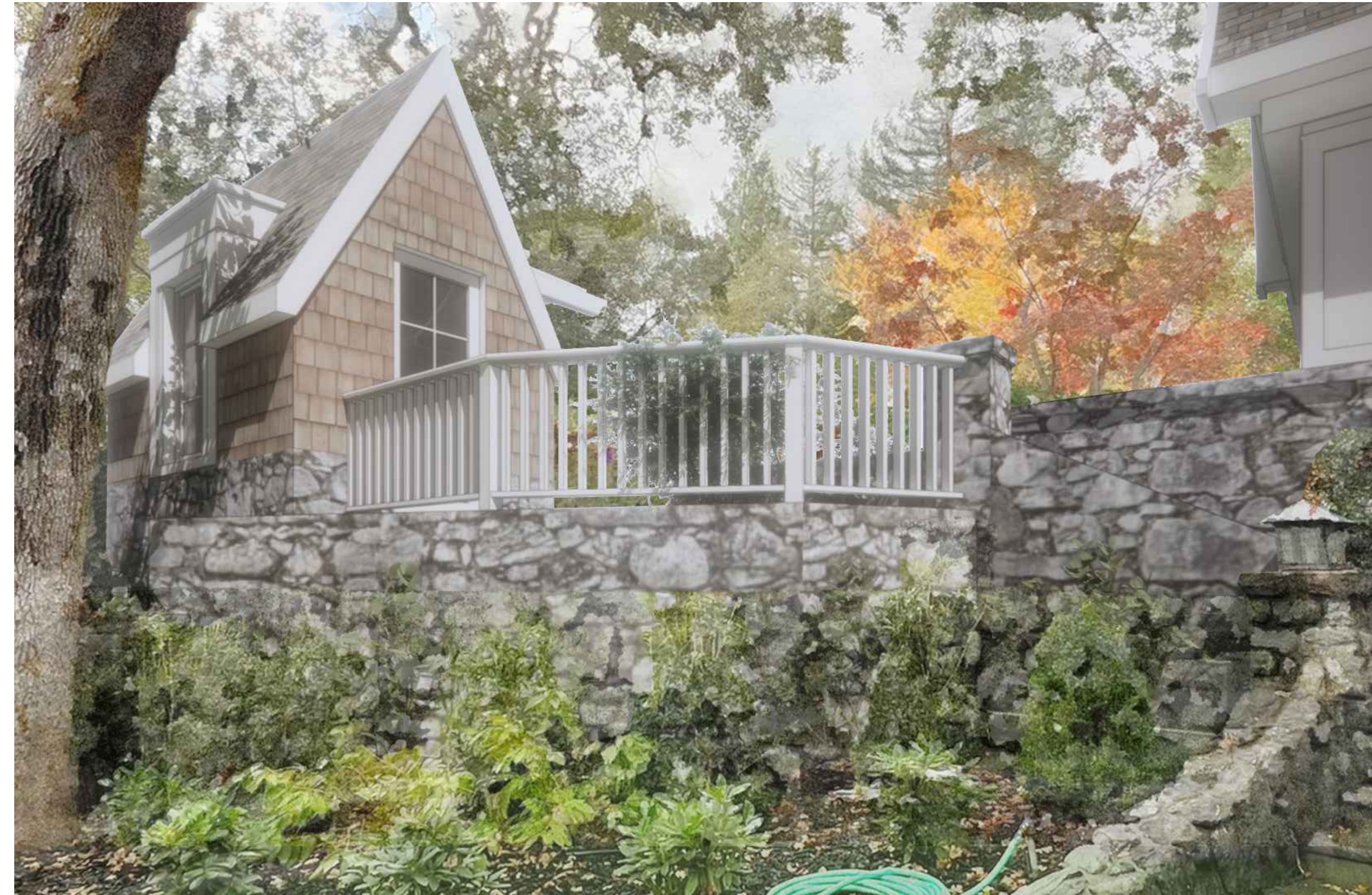
SCALE AS NOTED

A0.3

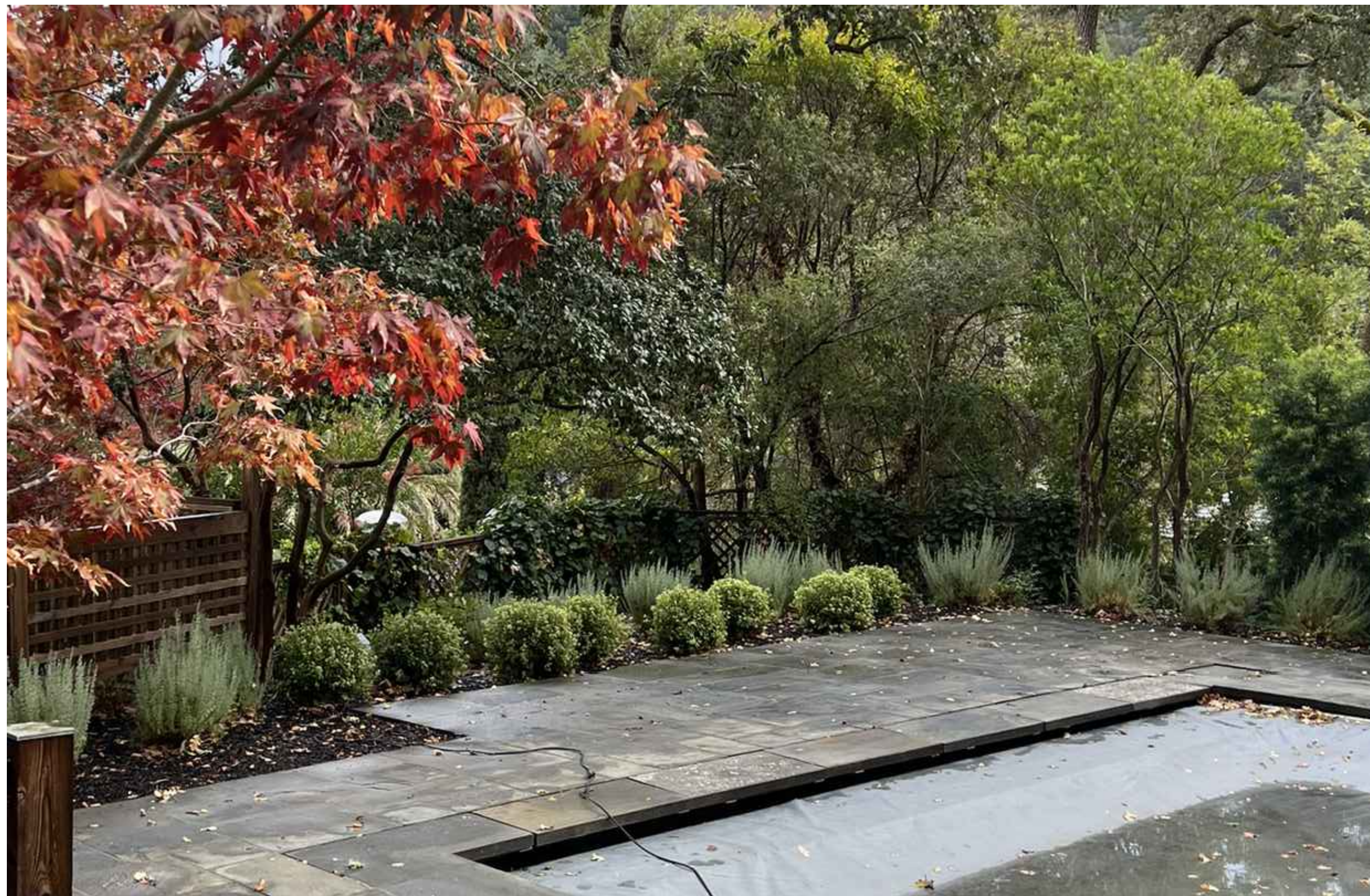
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1 EAST ELEVATION - EXISTING



2 EAST ELEVATION - PROPOSED



3 SOUTHWEST ELEVATION - EXISTING



4 SOUTHWEST ELEVATION - PROPOSED

SUTRO ARCHITECTS

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RENDERINGS
POOL HOUSE

SCALE AS NOTED

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1 SOUTHWEST ELEVATION - EXISTING



2 SOUTHWEST ELEVATION - PROPOSED

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RENDERINGS
POOL HOUSE

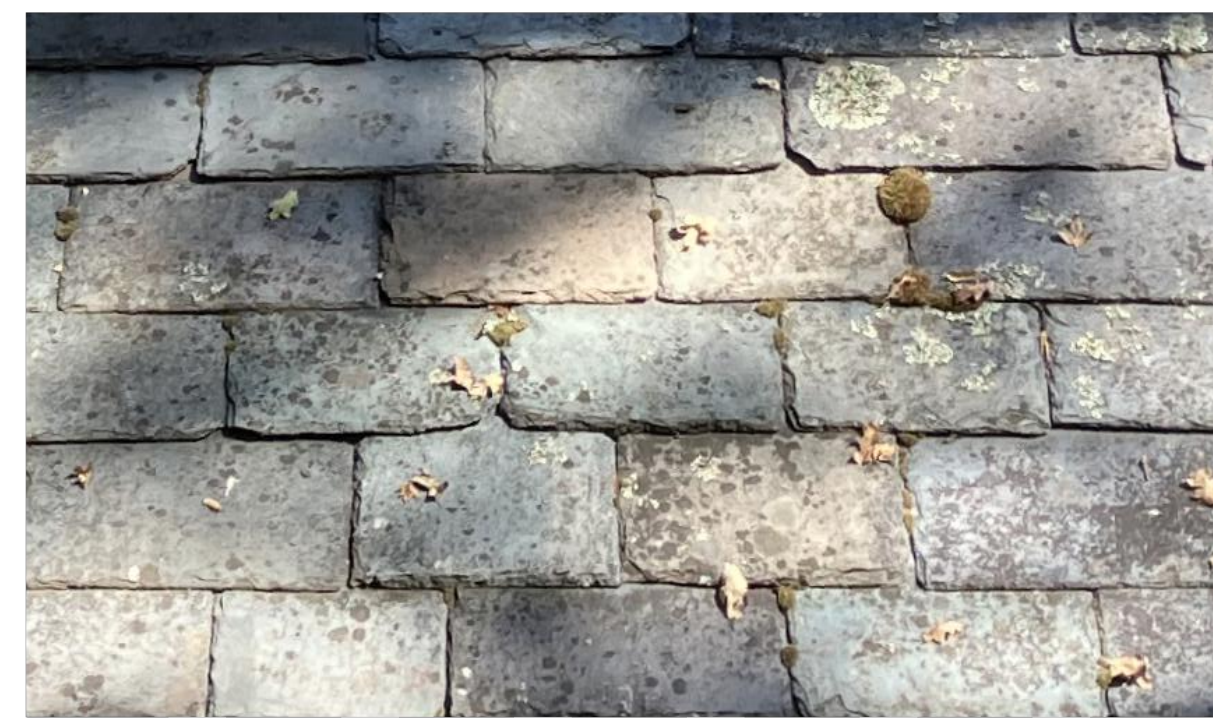
SCALE AS NOTED

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1 MATERIALS KEY



A SLATE ROOFING - MATCH EXISTING



B CLEAR STAINED ALASKAN YELLOW CEDAR SHINGLES (WALLS ONLY)



C EXTERIOR PAINTED WOOD PANELING



D STONE CLADDING - MATCH EXISTING



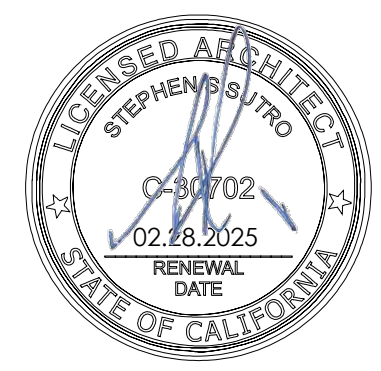
E BLUESTONE PAVERS - MATCH EXISTING

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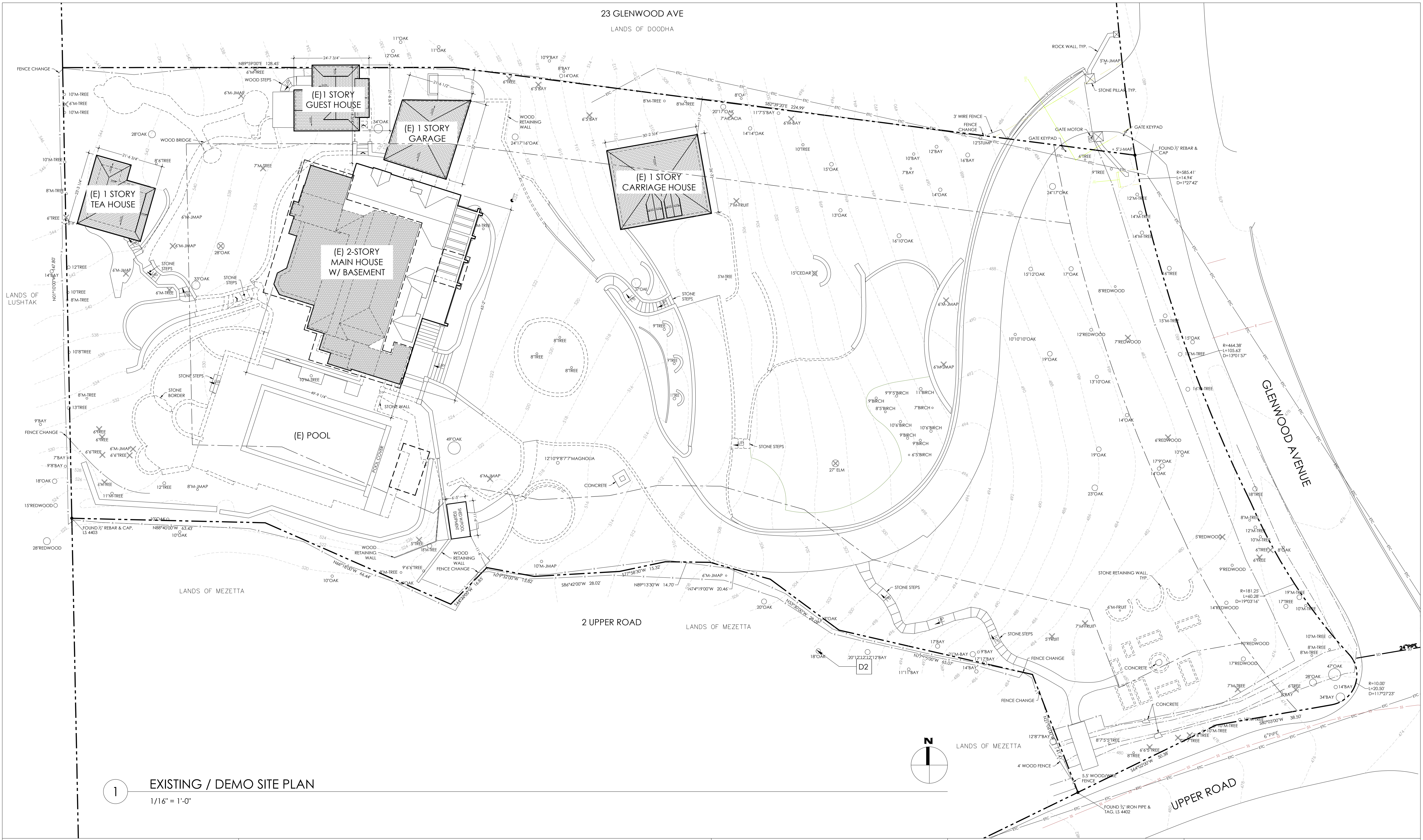
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MATERIALS BOARD

SCALE AS NOTED

A0.6

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1 EXISTING / DEMO SITE PLAN
1/16" = 1'-0"

- GENERAL DEMO SITE PLAN NOTES:**
- SEE LANDSCAPE & CIVIL DRAWINGS FOR ADDITIONAL SITE DEMO / EXISTING PLAN INFORMATION, INCLUDING CUT AND FILL FIGURES & AREA OF EXISTING IMPERMEABLE SURFACES.
 - EXISTING TREES ARE DENOTED BY SIZE AND SPECIES. SEE PROPOSED PLAN & LANDSCAPE PLANS FOR EXISTING TREES TO REMAIN / BE REMOVED.
 - ALL TREES UNDER 8" DIAMETER ARE TO BE REMOVED PER RVFD.

- DEMO SITE PLAN LEGEND:**
- PROPERTY LINE
 - SETBACK
 - AREA OF DEMOLITION
 - (E) ELEMENT TO REMAIN
 - EXISTING ELEMENT TO BE REMOVED
 - (E) FENCE TO REMAIN

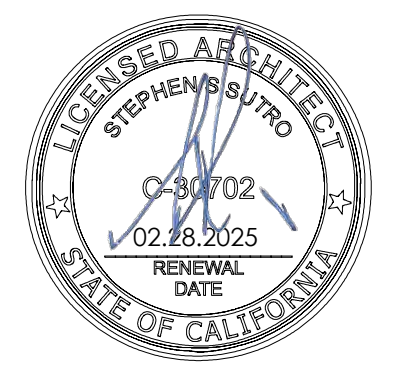
(E) TREE TO BE REMOVED: SEE LANDSCAPE PLANS

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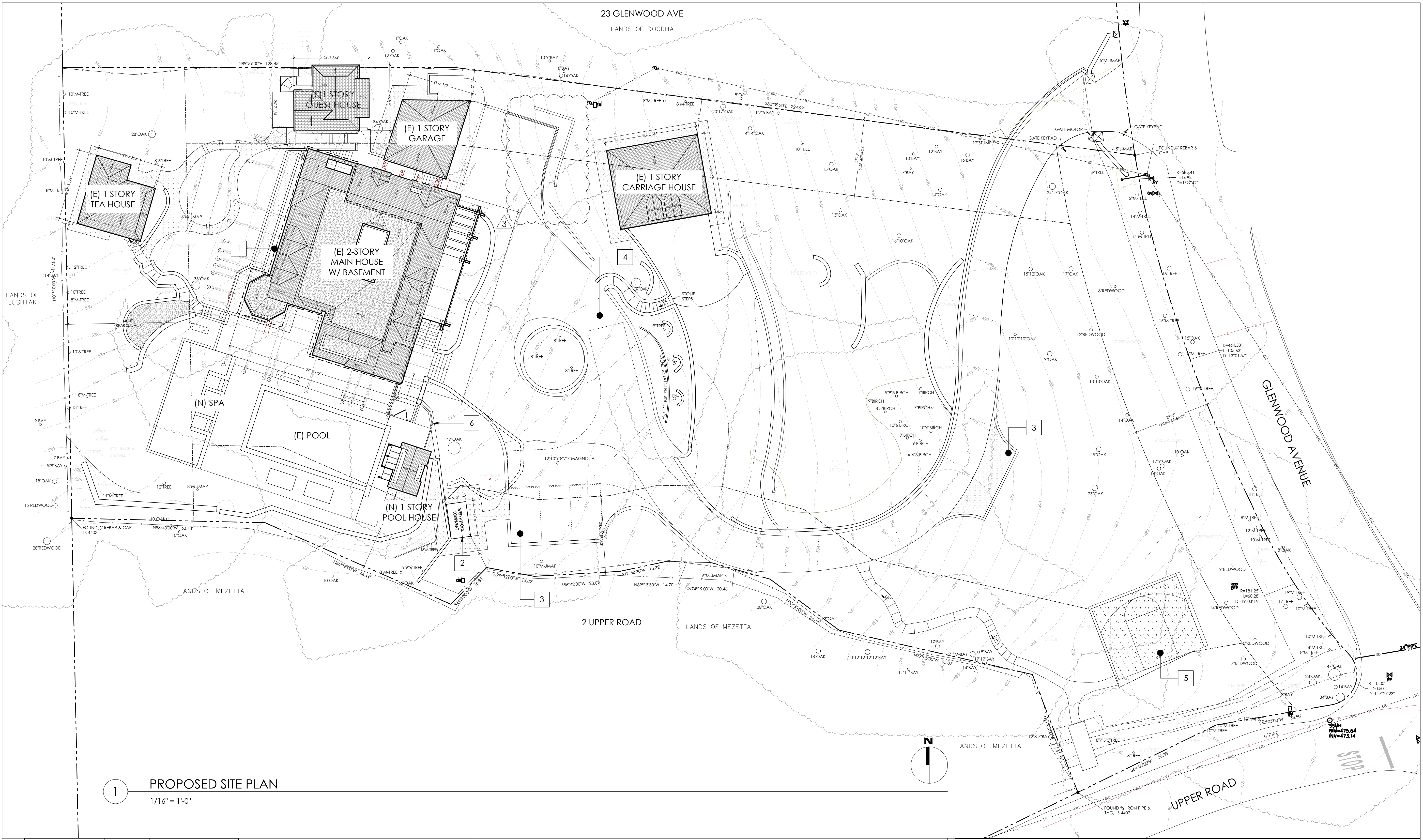
ADR SUBMITTAL 11.22.2024
ADR REVISION 01 12.11.2024
ADR REVISION 02 01.10.2025

DEMOLITION SITE PLAN

1/16" = 1'-0"

A1.0

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1 PROPOSED SITE PLAN
1/16" = 1'-0"

PROJECT ITEM	CODE STANDARD	EXISTING	PROPOSED
LOT AREA (SF)	43560 (1 ACRE)	63464	NO CHANGE
BUILDING COVERAGE (%)	15 MAX	6.7	7.4
FLOOR AREA RATIO (FAR)	15 MAX	10.2	13.9
TOTAL FLOOR AREA (SF)	9520 MAX	6492	8839
MAIN HOUSE BASEMENT		283	1610
MAIN HOUSE FIRST FLOOR		2423	2766
MAIN HOUSE SECOND FLOOR		1964	2506
GUEST HOUSE AREA		401	401
TEA HOUSE AREA		265	265
GARAGE AREA		471	471
MEDIA CENTER AREA		685	685
POOL HOUSE AREA		0	135
FRONT YARD SETBACK (FT)	25	115.1	NO CHANGE
NORTH SIDE YARD SETBACK	25	0	NO CHANGE
SOUTH SIDE YARD SETBACK	25	11.5	NO CHANGE
BACK YARD SETBACK	40	3.67	NO CHANGE
BUILDING HEIGHT (FT)	30 MAX	37.33	NO CHANGE
NO. OF STORES	2	NO CHANGE	
NO. OF BASEMENTS	1	NO CHANGE	
PARKING SPACES	4 (2 COVERED)	2 (2 COVERED)	6 (2 COVERED)

SITE PLAN GENERAL NOTES:

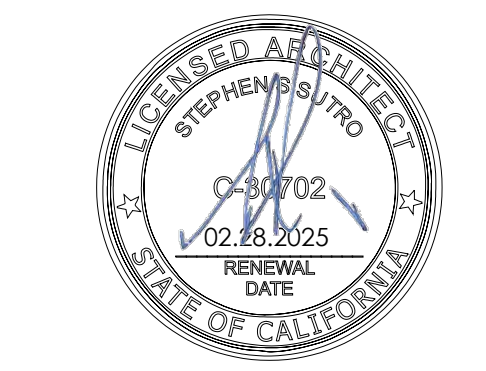
- SEE LANDSCAPE DRAWINGS FOR ADDITIONAL PROPOSED SITE PLAN INFORMATION, INCLUDING: AREAS OF HARDSCAPING & VEGETATION, TREE & PLANTING INFORMATION, DESCRIPTIONS OF LANDSCAPE ELEMENTS AND FEATURES, LANDSCAPE STAIRS, & SITE RETAINING WALLS.
- SEE CIVIL DRAWINGS FOR CUT & FILL CALCULATIONS, PERVIOUS/IMPERVIOUS COVERAGE, AND FINAL GRADING INFO.
- SEE ROOF PLANS FOR ALL ROOF AND DORMER SLOPES.
- ALL NEW BUILDINGS SHALL BE WUI COMPLIANT PER RMC 15.06.095.

KEY NOTES:

- (N) LIGHTWELL. SEE BASEMENT PLANS, A2.0 & A2.1.
- EQUIPMENT FOR (N) SPA TO BE LOCATED WITH EXISTING EQUIPMENT. EQUIPMENT NOISE LEVEL NOT TO EXCEED 55 db.
- (N) PARKING AREA. SEE LANDSCAPE DRAWINGS.
- SEE LANDSCAPE DRAWINGS FOR EXTENT OF (N) PAVING AT DRIVEWAY.
- (N) SPORT COURT. SEE LANDSCAPE DRAWINGS.
- (N) GUARDRAIL TO MATCH STYLE OF (N) FRONT PORCH RAIL. SEE MAIN HOUSE EXTERIOR ELEVATIONS & POOL HOUSE RENDERINGS

SITE PLAN LEGEND:

---	PROPERTY LINE	[Hatched Box]	AREA OF LAWN
- - -	SETBACK	[Dotted Box]	(E) FENCE TO REMAIN
[Hatched Box]	SLATE ROOF	[Dotted Box]	EXISTING CONTOUR
[Hatched Box]	AREA OF (N) FLAT ROOF	[Dotted Box]	NEW CONTOUR, SEE CIVIL DRAWINGS
[Hatched Box]	AREA OF PAVEMENT		
[Hatched Box]	AREA OF PAVERS		



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 ADR REVISION 01 12.11.2024
 ADR REVISION 02 01.10.2025
 ADR REVISION 03 02.03.2025

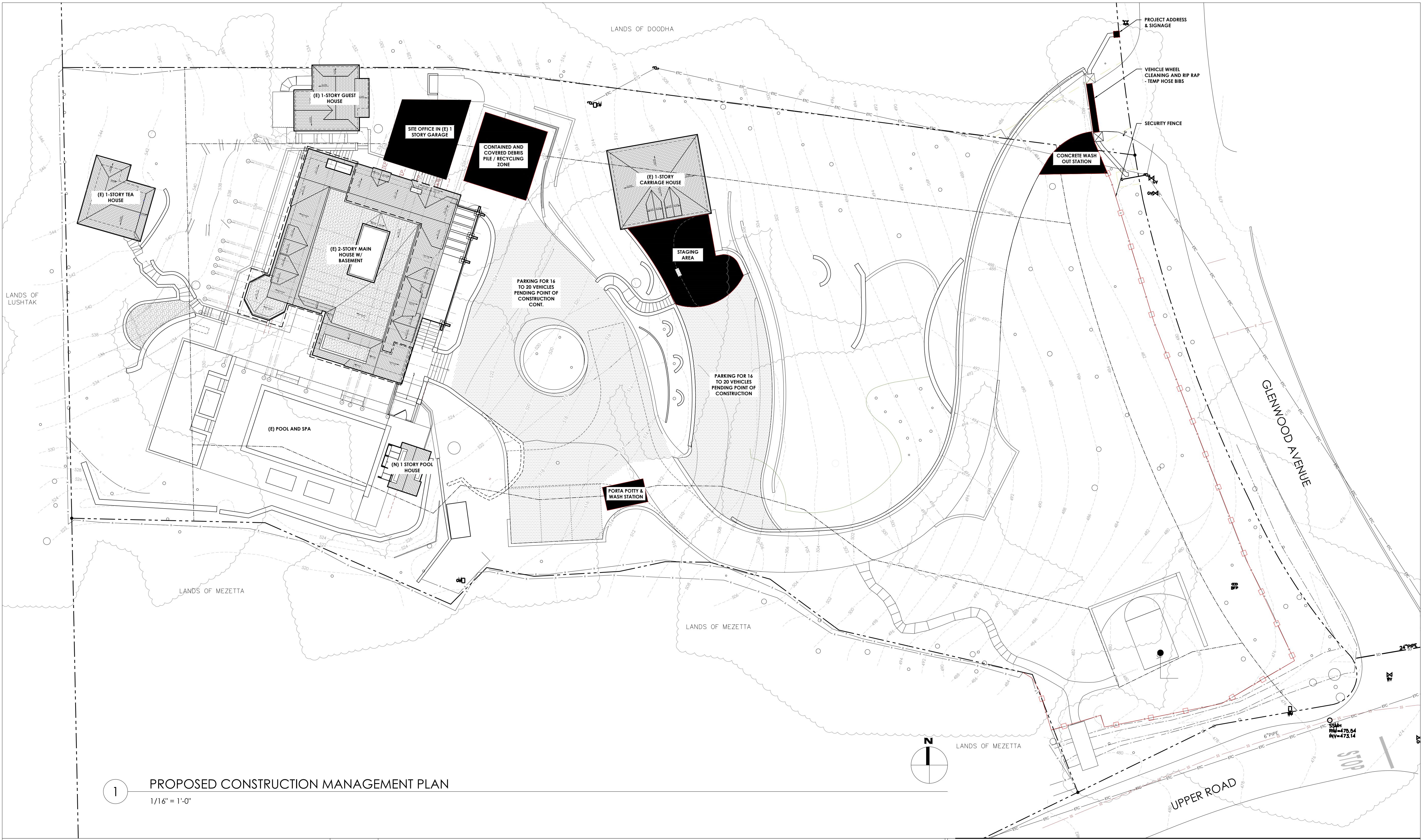
PROPOSED SITE PLAN
 1/16" = 1'-0"
A1.1

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1 PROPOSED CONSTRUCTION MANAGEMENT PLAN
1/16" = 1'-0"

CONSTRUCTION MANAGEMENT PLAN GENERAL NOTES

- STORM MANAGEMENT.** SEE CIVIL DRAWINGS, SHEET C5, FOR STORM MANAGEMENT AND EROSION CONTROL MEASURES.
- CONSTRUCTION FENCING.** FRONT OF PROPERTY TO GET CONSTRUCTION FENCING. OTHER SIDES OF PROPERTY TO KEEP EXISTING FENCES IN PLACE UNTIL NEW FENCE IS CONSTRUCTED.
- TREE PROTECTION.** SEE LANDSCAPE DRAWINGS, SHEET L0.12, FOR TREE PROTECTION MEASURES.

CONSTRUCTION MANAGEMENT SITE PLAN LEGEND

	CONSTRUCTION FENCING
	CONSTRUCTION MANAGEMENT ITEM / ZONE (APPROXIMATE SIZE / LOCATION)

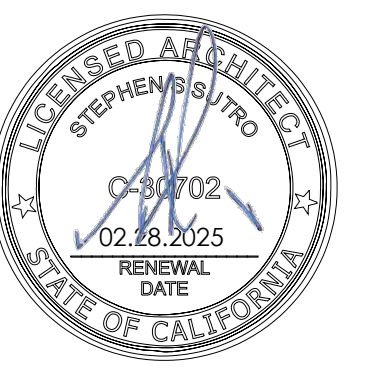
SITE PLAN LEGEND

	PROPERTY LINE		AREA OF LAWN
	SETBACK		(E) FENCE TO REMAIN
	SLATE ROOF		EXISTING CONTOUR
	AREA OF (N) FLAT ROOF		NEW CONTOUR, SEE CIVIL DRAWINGS
	AREA OF PAVEMENT		
	AREA OF PAVERS		

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ADR REVISION 02	01.10.2025	△
ADR REVISION 03	02.03.2025	△

PROPOSED CONSTRUCTION MANAGEMENT SITE PLAN

1/16" = 1'-0"

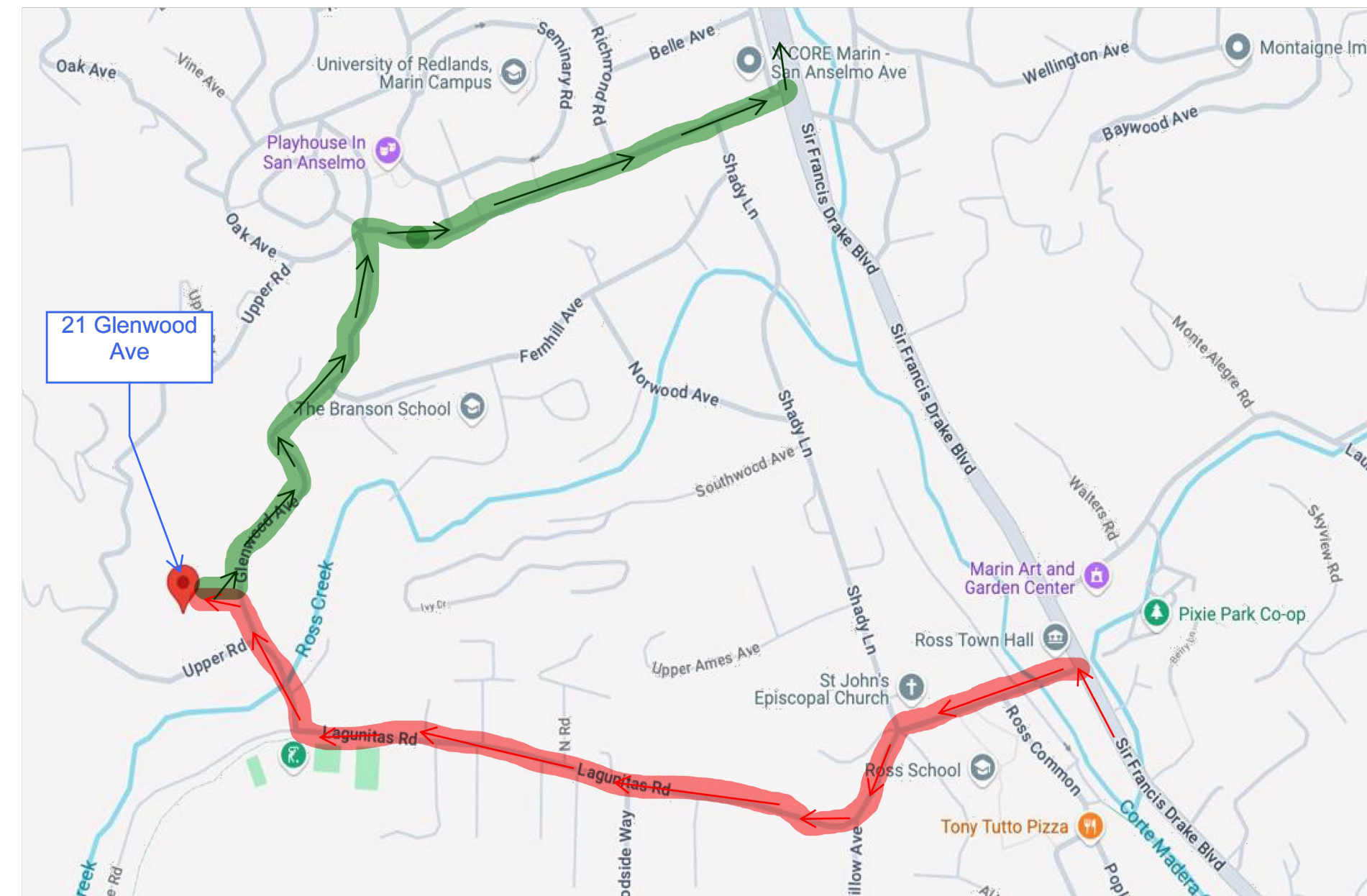
A1.2

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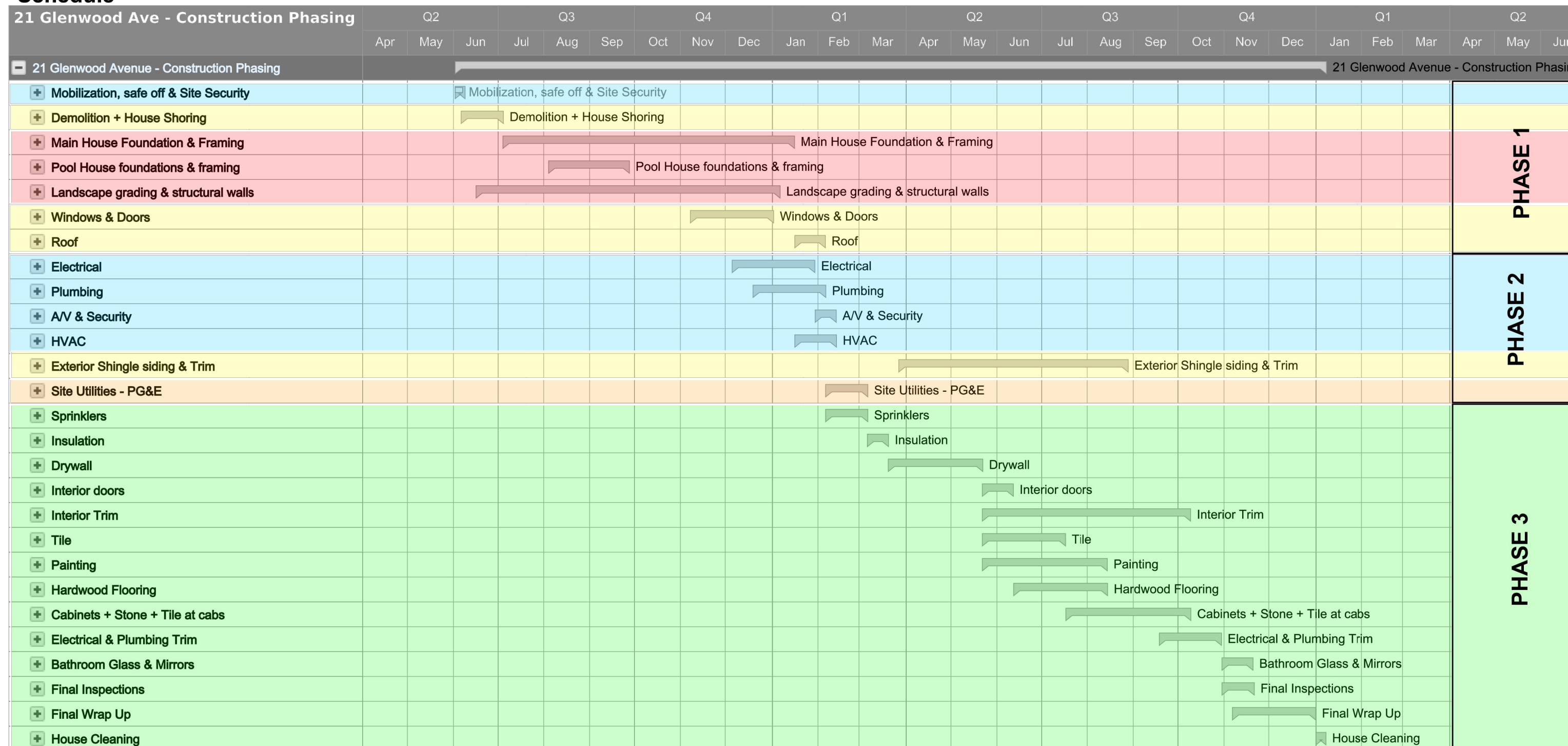
Construction phasing and the timing Ledgend

Minimum disruption to surrounding neighbors, expect minor noise levels.	
Moderate disruption to surrounding neighbors, elevated noise levels - expect more construction crew and vehicles on-site	
Considerable noise and disruption to surrounding neighbors, elevated noise levels, may result in partial street closures to facilitate utility work	
A period whereby the most activity and disruption to surrounding neighbors, elevated noise levels, including compressors, jack hammers, heavy equipment, trucking that may result in increased traffic congestion to facilitate dump trucks and concrete trucks coming and going from site	
Quiet interior work with minimum disruption to surrounding neighbors, moderate noise levels, increase in on-site trades.	

Construction phasing and the timing Road Map - vehicles entering & leaving Ross



Construction phasing and the timing Schedule



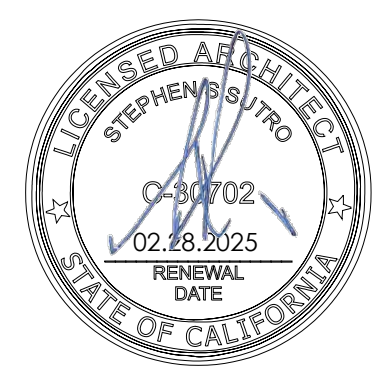
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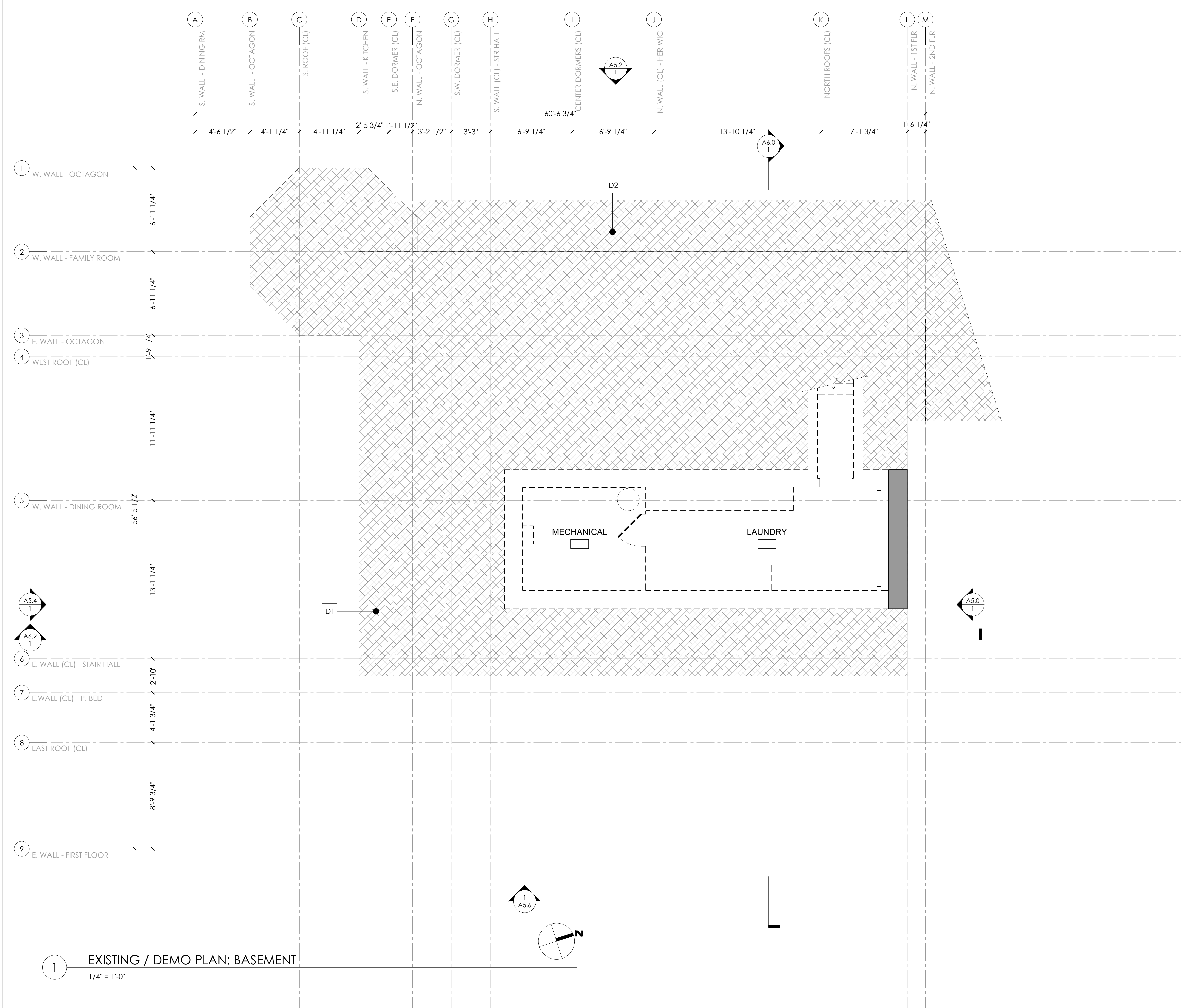
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ADR REVISION 02	01.10.2025
ADR REVISION 03	02.03.2025

PROPOSED
CONSTRUCTION PHASING PLAN

1/16" = 1'-0"

A1.3

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- GENERAL DEMO NOTES:**
1. CONTRACTOR TO PERFORM HAZARDOUS MATERIAL TESTING PRIOR TO DEMO.
 2. CONTRACTOR TO IDENTIFY ALL AREA OF ALL WALL FINISH REMOVAL AND PERFORM WALK-THRU WITH OWNER & ARCHITECT TO VERIFY DEMO SCOPE OF WORK PRIOR TO DEMOLITION.
 3. CONTRACTOR IS ENCOURAGED TO PERFORM ECO-DEMOLITION AND SALVAGE AS MUCH AS POSSIBLE. PROVIDE OWNER WITH DONATION/SALVAGE QUOTE & CREDIT PRIOR TO DEMOLITION EXECUTION.
 4. REMOVED MATERIALS SUCH AS FIXTURES, APPLIANCES, AND OTHER ELEMENTS SUITABLE FOR RECYCLING TO BE SOLD OR DONATED FOR SUCH PURPOSE.
 5. DASHED ITEMS ARE USED TO DENOTE ITEMS TO BE REMOVED, NOTE THAT OTHER LINES SUCH AS SOFFITS ABOVE, EAVES AND HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINE. IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING.
 6. IF DEMOLITION FOR CONSTRUCTION PURPOSES IS REQUIRED BEYOND WHAT IS SHOWN IN DEMO CALCULATIONS, CONTRACTOR MUST SCHEDULE ON-SITE MEETING WITH PLANNING & BUILDING INSPECTORS FOR REVIEW AND APPROVAL PRIOR TO DEMOLITION OF ANY STRUCTURAL FRAMING.
 7. ALL EXISTING STRUCTURAL FRAMING MEMBERS (WOOD STUDS OR OTHER) TO BE REUSED TO MEET DEMO CALCULATIONS SHALL BE STORED ON SITE IMMEDIATELY ADJACENT (OR AS CLOSE AS POSSIBLE) TO THE ORIGINAL WALLS AND PARTITIONS.
 8. DRY ROT. CONTRACTOR TO VISUALLY INSPECT FOR DRY ROT AND MAKE RECOMMENDATIONS TO OWNER AND ARCHITECT. BEFORE REMOVING AND REPLACING ELEMENTS AFFECTED BY DRY ROT BEYOND WHAT IS NOTED IN ARCHITECTURAL PLANS, CONTRACTOR TO NOTIFY BUILDING INSPECTOR.

- DEMO KEY NOTES:**
- D1 EXCAVATE FOR (N) BASEMENT FOUNDATION
 - D2 EXCAVATE FOR (N) LIGHTWELL

DEMO CALCULATIONS:

FLOOR	LINEAR DISTANCE OF EXISTING EXTERIOR WALLS	LINEAR DISTANCE OF EXISTING WALLS TO BE DEMOLISHED
BASEMENT	118'-9"	107'-2 3/4"
FIRST FLOOR	234'-1 1/4"	175'-9 1/2"
SECOND FLOOR	236'-3 1/4"	134'-0 1/2"
TOTAL	589'-1 1/2"	417'-0 3/4"

- DEMO PLAN LEGEND:**
- — — — — PROPERTY LINE
 - · — · — REQ'D SETBACK
 - ▬ (E) WALLS TO REMAIN. UPGRADE TO MIN. 5/8" THK. FIRE CODE TYPE X FINISH IF WALL IS REMOVED AND REPLACED
 - ▨ AREA TO BE EXCAVATED
 - - - - - (E) WALLS TO BE REMOVED
 - - - - - (E) ELEMENTS TO BE REMOVED
 - · · · · (E) FENCE TO REMAIN

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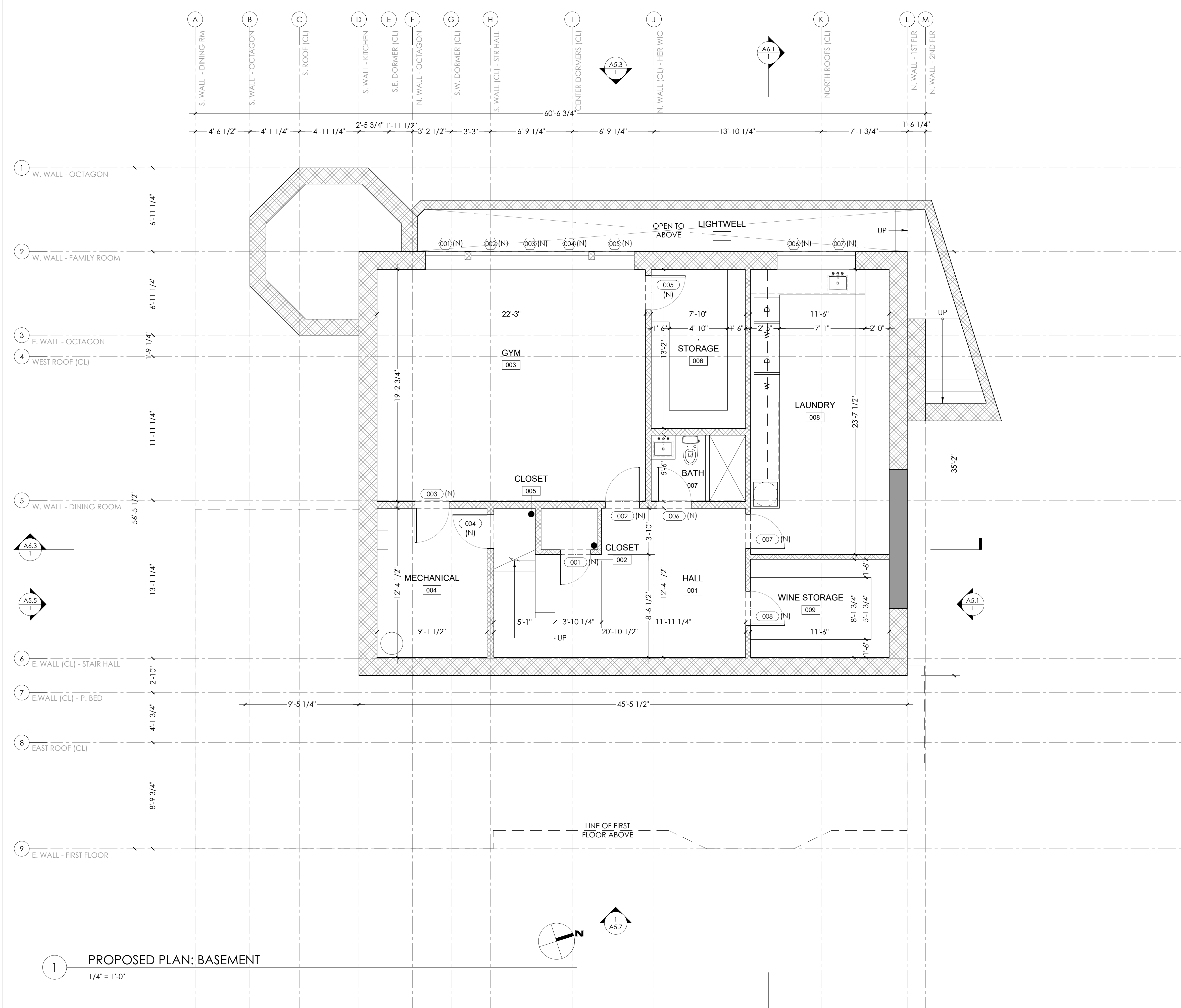
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DEMO PLAN:
MAIN HOUSE BASEMENT

1/4" = 1'-0"

A2.0

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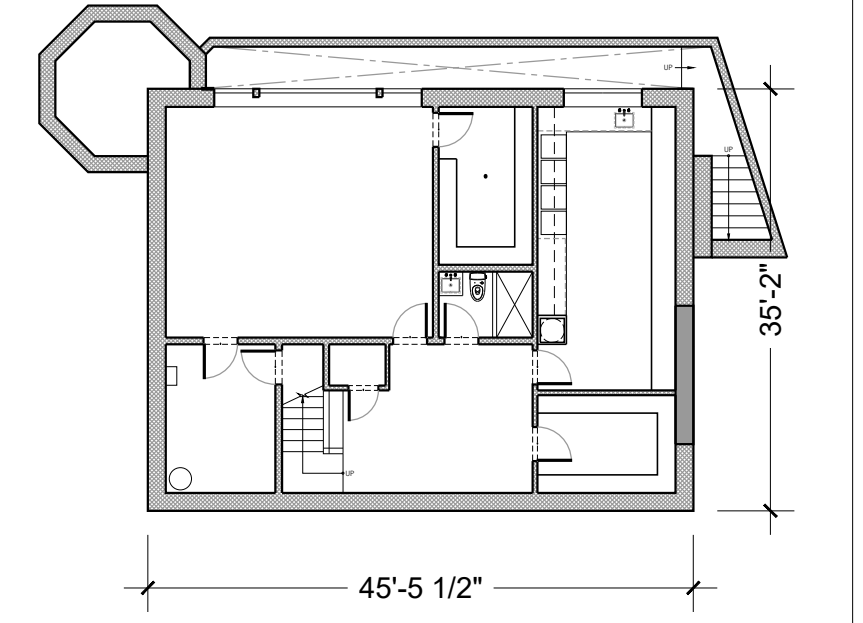


GENERAL FLOOR PLAN NOTES:

1. **DIMENSIONS.** ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH. U.O.N.
2. **INSULATION.** BATT INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
3. **GLAZING.** ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS WHERE ALL EXPOSED WALL AREAS, TYP.
4. **GLAZING.** NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER C.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
5. **LIGHT AND VENTILATION.** HABITABLE ROOMS SHALL HAVE A GLAZING AREA OF NOT LESS THAN 8% THE FLOOR AREA OF SUCH ROOM PER CRC 303.1. THE OPENABLE AREA SHALL NOT BE LESS THAN 4% OF THE FLOOR AREA BEING VENTILATED.
6. **EMERGENCY ESCAPE & RESCUE OPENINGS.** EGRESS WINDOWS AT ALL BEDROOMS SHALL MEET THE FOLLOWING REQUIREMENTS PER CBC 1030:
 - 5.7 SF MIN NET CLEAR OPENABLE AREA
 - 44" MAXIMUM SILL HEIGHT
 - 24" MIN NET CLR HEIGHT
 - 20" MIN NET CLEAR WIDTH

BASEMENT CALCULATIONS:

PER TOWN OF ROSS MUNICIPAL CODE, SECT. 18.12.050:
 "BASEMENT" MEANS A SPACE PARTLY OR WHOLLY UNDERGROUND. A FINISHED BASEMENT IS DEFINED AS A SPACE USED IN CONJUNCTION WITH DAILY HOUSEHOLD ACTIVITIES. IT INCLUDES RECREATION ROOMS, WINE CELLARS, LAUNDRY ROOMS AND/OR ANY SPACE WHICH IS SEVEN FEET OR MORE IN HEIGHT OR HAS SHEET ROCK OR paneled walls, IF THE FINISHED FLOOR LEVEL DIRECTLY ABOVE A BASEMENT IS SIX FEET OR MORE ABOVE NATURAL GRADE FOR MORE THAN TWENTY-FIVE PERCENT OF THE BASEMENT PERIMETER, SUCH BASEMENT SHALL BE CONSIDERED AS A "STORY."



BASEMENT PERIMETER DIAGRAM AT 1/16" = 1'-0"
 TOTAL BASEMENT PERIMETER: 161'-3"
 TOTAL BASEMENT PERIMETER WITH FLOOR ABOVE 6FT OR MORE ABOVE GRADE: 0'-0"
 % OF BASEMENT PERIMETER WITH FLOOR ABOVE 6FT OR MORE ABOVE GRADE: 0%

PROPOSED FLOOR PLAN LEGEND:

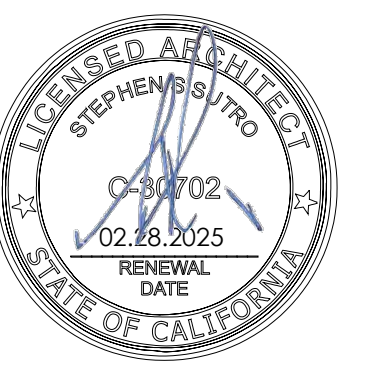
- — — — — PROPERTY LINE
- - - - - REQ'D SETBACK
- ▬▬▬▬▬ (E) WALLS TO REMAIN. UPGRADE TO MIN. 5/8" THK. FIRE CODE TYPE X FINISH IF WALL IS REMOVED AND REPLACED
- ▬▬▬▬▬ (N) WALLS & PARTITIONS
- ▬▬▬▬▬ (N) 1 HOUR RATED WALL
- ▬▬▬▬▬ (N) SOLID 42" H. GUARDRAIL
- ▬▬▬▬▬ (N) 30" PARAPET WALL AT SKYLIGHTS WITHIN 5'-0" OF PROPERTY LINE
- — — — — (N) FENCE
- ▨▨▨▨▨ AREA OF NEW ADDITION

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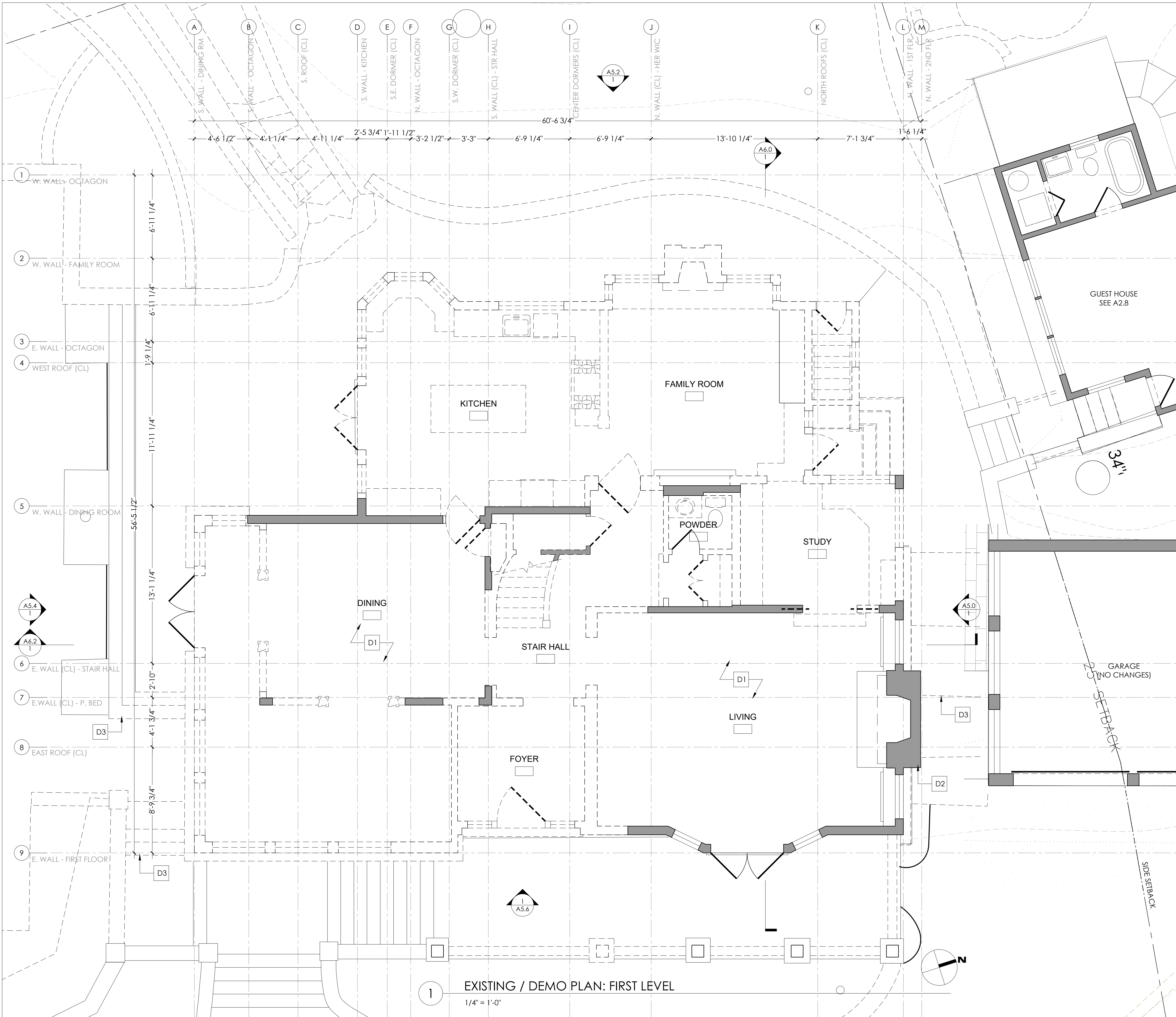
PROPOSED PLAN:
MAIN HOUSE BASEMENT

1/4" = 1'-0"

A2.1

1 PROPOSED PLAN: BASEMENT
1/4" = 1'-0"

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1 EXISTING / DEMO PLAN: FIRST LEVEL
1/4" = 1'-0"

GENERAL DEMO NOTES:

1. CONTRACTOR TO PERFORM HAZARDOUS MATERIAL TESTING PRIOR TO DEMO.
2. CONTRACTOR TO IDENTIFY ALL AREA OF ALL WALL FINISH REMOVAL AND PERFORM WALK-THRU WITH OWNER & ARCHITECT TO VERIFY DEMO SCOPE OF WORK PRIOR TO DEMOLITION.
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DEMO KEY NOTES:

- D1 REMOVE (E) INTERIOR FINISHES THROUGHOUT MAIN HOUSE
- D2 INVESTIGATE STRUCTURAL STABILITY OF (E) CHIMNEY
- D3 DEMOLISH EXISTING EXTERIOR STAIRS AS INDICATED

DEMO CALCULATIONS:

FLOOR	LINEAR DISTANCE OF EXISTING EXTERIOR WALLS	LINEAR DISTANCE OF EXISTING WALLS TO BE DEMOLISHED
BASEMENT	118'-9"	107'-2 3/4"
FIRST FLOOR	234'-1 1/4"	175'-9 1/2"
SECOND FLOOR	236'-3 1/4"	134'-0 1/2"
TOTAL	589'-1 1/2"	417'-0 3/4"

DEMO PLAN LEGEND:

- PROPERTY LINE
- - - - - REQ'D SETBACK
- (E) WALLS TO REMAIN. UPGRADE TO MIN. 5/8" THK. FIRE CODE TYPE X FINISH IF WALL IS REMOVED AND REPLACED
- ▨ AREA TO BE EXCAVATED
- - - - - (E) WALLS TO BE REMOVED
- - - - - (E) ELEMENTS TO BE REMOVED
- - - - - (E) FENCE TO REMAIN

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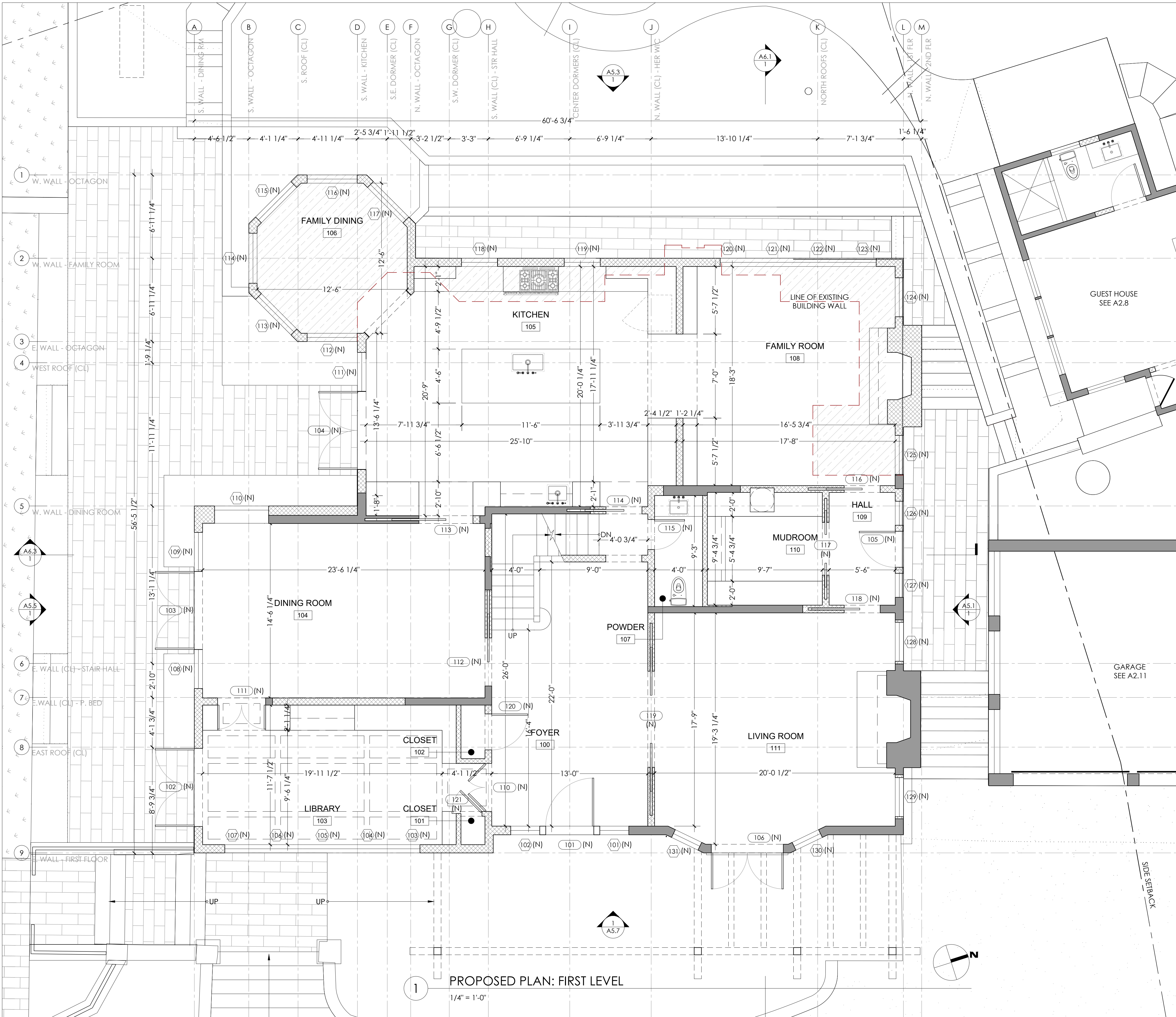
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DEMO PLAN:
MAIN HOUSE FIRST LEVEL

1/4" = 1'-0"

A2.2

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 - 44" MAXIMUM SILL HEIGHT
 - 24" MIN NET CLR HEIGHT
 - 20" MIN NET CLEAR WIDTH

PROPOSED FLOOR PLAN LEGEND:

- PROPERTY LINE
- REQ'D SETBACK
- (E) WALLS TO REMAIN. UPGRADE TO MIN. 5/8" THK. FIRE CODE TYPE X FINISH IF WALL IS REMOVED AND REPLACED
- (N) WALLS & PARTITIONS
- (N) 1 HOUR RATED WALL
- (N) SOLID 42" H. GUARDRAIL
- (N) 30" PARAPET WALL AT SKYLIGHTS WITHIN 5'-0" OF PROPERTY LINE
- (N) FENCE
- AREA OF NEW ADDITION

ROSS RESIDENCE



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PROPOSED PLAN:
MAIN HOUSE FIRST LEVEL

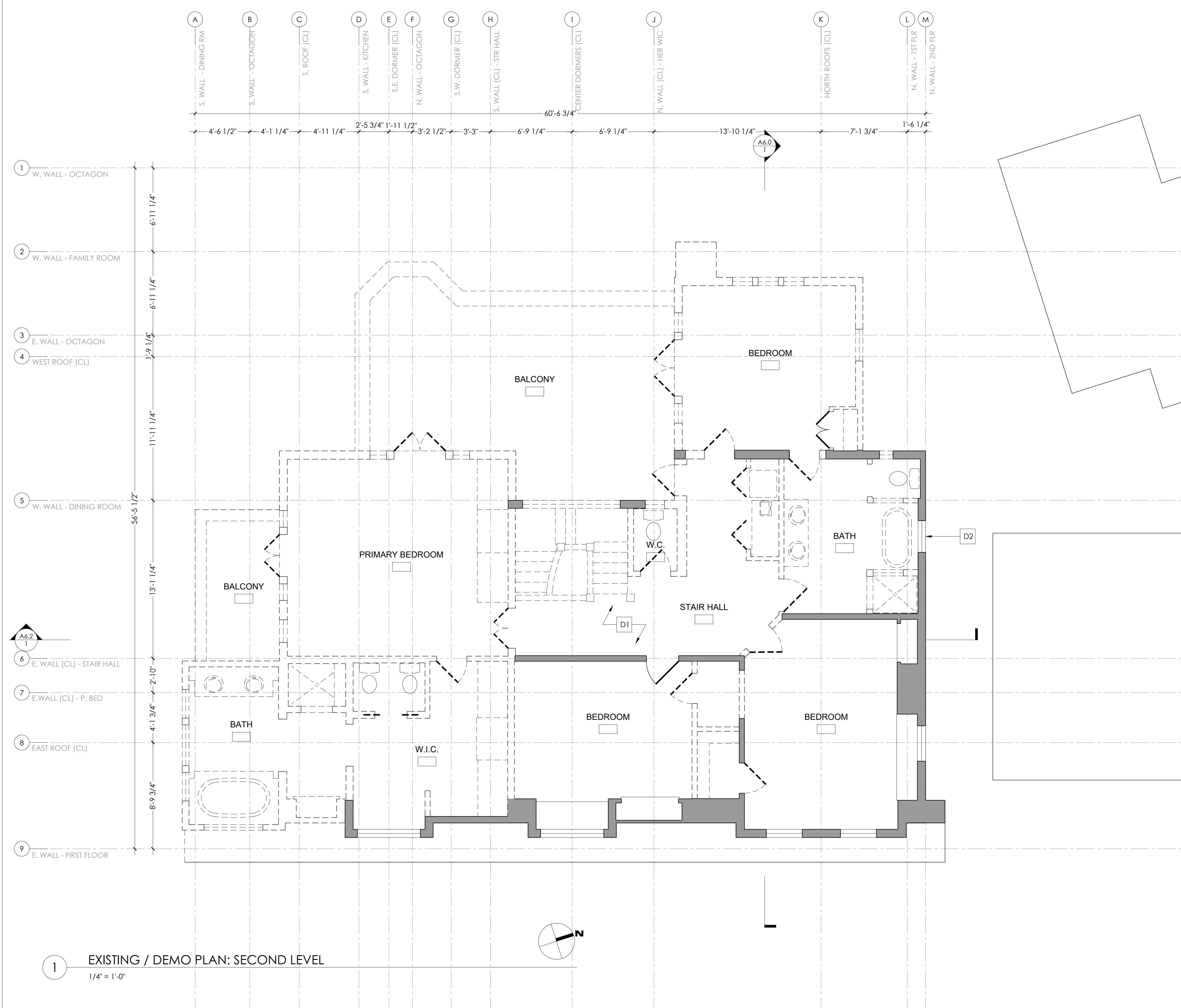
1/4" = 1'-0"

A2.3

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1 EXISTING / DEMO PLAN: SECOND LEVEL
1/4" = 1'-0"

- GENERAL DEMO NOTES:**
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 2. CONTRACTOR TO IDENTIFY ALL AREA OF ALL WALL FINISH REMOVAL AND PERFORM WALK-THRU WITH OWNER & ARCHITECT TO VERIFY DEMO SCOPE OF WORK PRIOR TO DEMOLITION.
 3. CONTRACTOR IS ENCOURAGED TO PERFORM ECO-DEMOLITION AND SALVAGE AS MUCH AS POSSIBLE. PROVIDE OWNER WITH DONATION/SALVAGE QUOTE & CREDIT PRIOR TO DEMOLITION EXECUTION.
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- DEMO KEY NOTES:**
- D1 REMOVE (E) INTERIOR FINISHES THROUGHOUT MAIN HOUSE
 - D2 REMOVE (E) WINDOWS TO REMAIN

DEMO CALCULATIONS:

FLOOR	LINEAR DISTANCE OF EXISTING EXTERIOR WALLS	LINEAR DISTANCE OF EXISTING WALLS TO BE DEMOLISHED
BASEMENT	118'-9"	107'-2 3/4"
FIRST FLOOR	234'-1 1/4"	175'-9 1/2"
SECOND FLOOR	236'-3 1/4"	134'-0 1/2"
TOTAL	589'-1 1/2"	417'-0 3/4"

- DEMO PLAN LEGEND:**
- — — — — PROPERTY LINE
 - — — — — REQ'D SETBACK
 - — — — — (E) WALLS TO REMAIN. UPGRADE TO MIN. 5/8" THK. FIRE CODE TYPE X FINISH IF WALL IS REMOVED AND REPLACED
 - ▨▨▨▨▨▨ AREA TO BE EXCAVATED
 - - - - - (E) WALLS TO BE REMOVED
 - - - - - (E) ELEMENTS TO BE REMOVED
 - ⋯⋯⋯⋯⋯ (E) FENCE TO REMAIN

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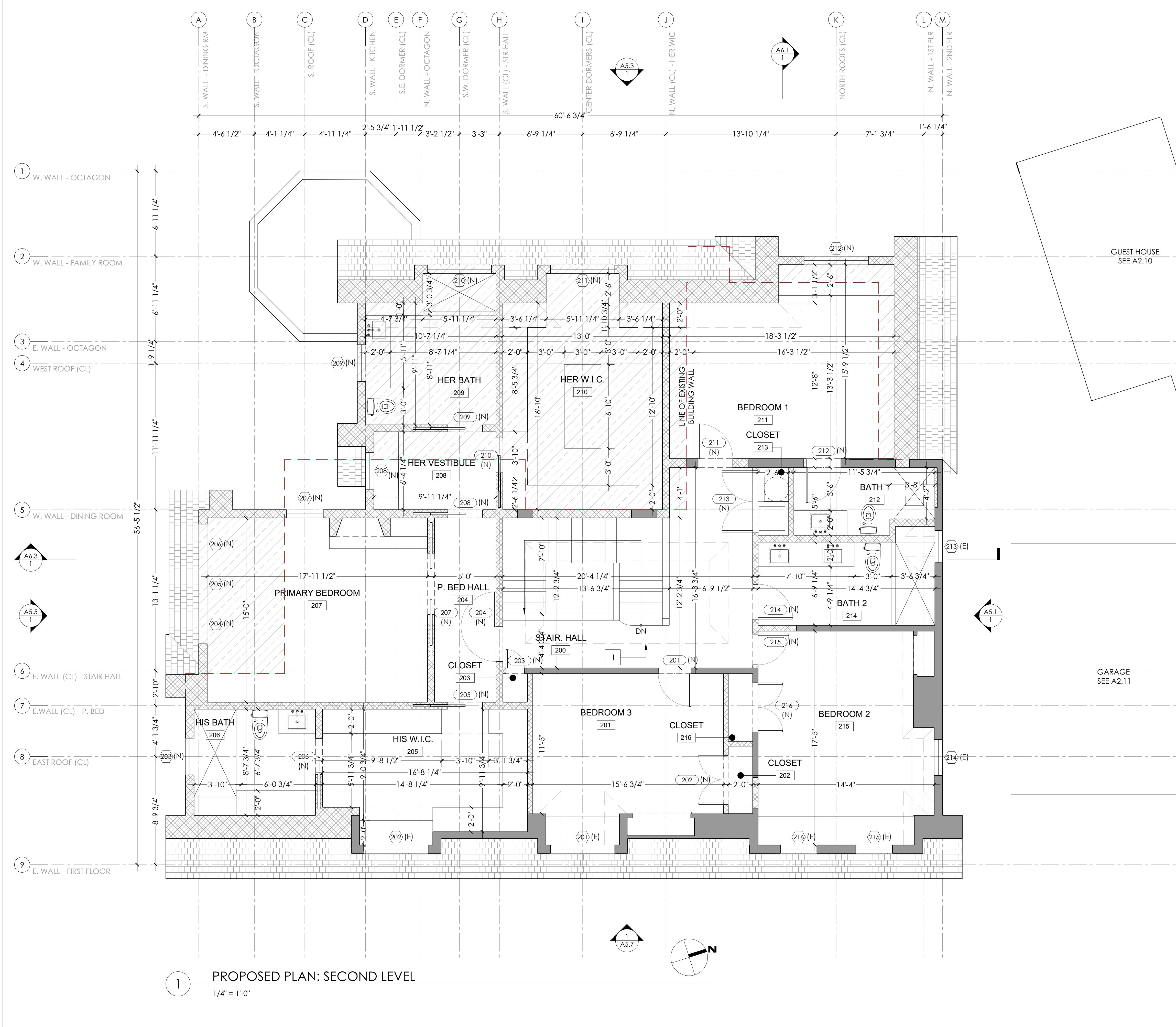
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DEMO PLAN:
MAIN HOUSE SECOND LEVEL

1/4" = 1'-0"

A2.4

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1 PROPOSED PLAN: SECOND LEVEL
1/4" = 1'-0"

GENERAL FLOOR PLAN NOTES:

- DIMENSIONS.** ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH, U.O.N.
- INSULATION.** BATT INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
- GLAZING.** ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS WHERE ALL EXPOSED WALL AREAS, TYP.
- GLAZING.** NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER C.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
- LIGHT AND VENTILATION.** HABITABLE ROOMS SHALL HAVE A GLAZING AREA OF NOT LESS THAN 8% THE FLOOR AREA OF SUCH ROOM PER CRC 303.1. THE OPENABLE AREA SHALL NOT BE LESS THAN 4% OF THE FLOOR AREA BEING VENTILATED.
- EMERGENCY ESCAPE & RESCUE OPENINGS.** EGRESS WINDOWS AT ALL BEDROOMS SHALL MEET THE FOLLOWING REQUIREMENTS PER CBC 1030:
 - 5.7 SF MIN NET CLEAR OPENABLE AREA
 - 44" MAXIMUM SILL HEIGHT
 - 24" MIN NET CLR HEIGHT
 - 20" MIN NET CLEAR WIDTH

KEY NOTES:

1 NEW LAY LIGHT WITH SKYLIGHT ABOVE

PROPOSED FLOOR PLAN LEGEND:

- PROPERTY LINE
- - - REQ'D SETBACK
- (E) WALLS TO REMAIN. UPGRADE TO MIN. 5/8" THK. FIRE CODE TYPE X FINISH IF WALL IS REMOVED AND REPLACED
- (N) WALLS & PARTITIONS
- (N) 1 HOUR RATED WALL
- (N) SOLID 42" H. GUARDRAIL
- (N) 30" PARAPET WALL AT SKYLIGHTS WITHIN 5'-0" OF PROPERTY LINE
- (N) FENCE
- AREA OF NEW ADDITION

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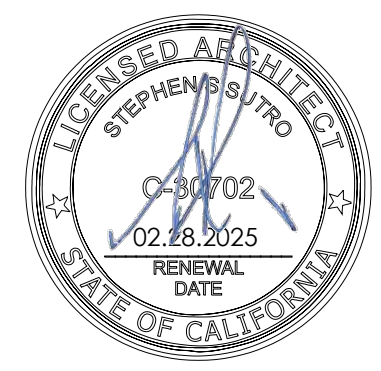
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PROPOSED PLAN:
MAIN HOUSE SECOND LEVEL

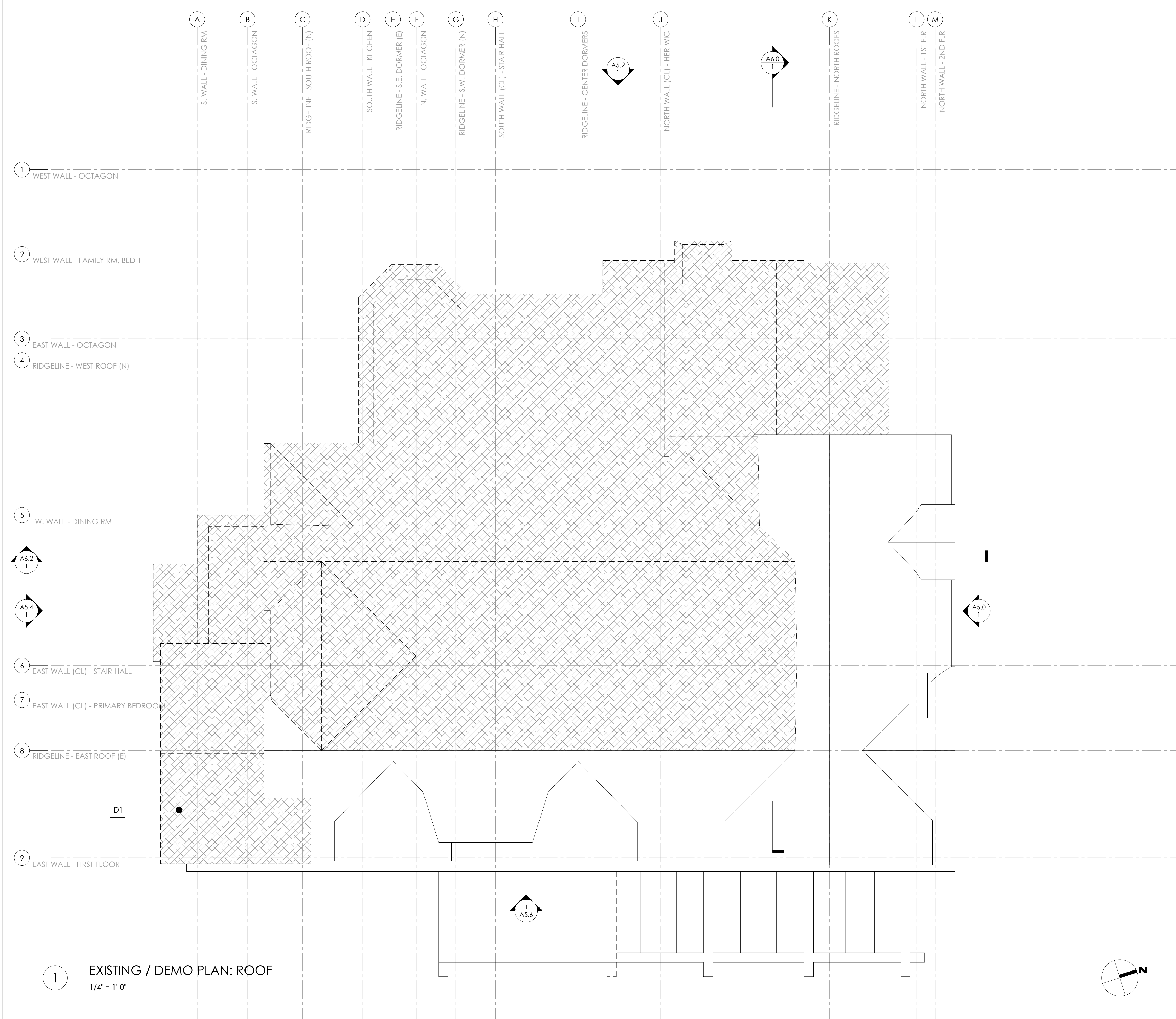
1/4" = 1'-0"

A2.5



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- GENERAL DEMO NOTES:**
- CONTRACTOR TO PERFORM HAZARDOUS MATERIAL TESTING PRIOR TO DEMO.
 - CONTRACTOR TO IDENTIFY ALL AREA OF ALL WALL FINISH REMOVAL AND PERFORM WALK-THRU WITH OWNER & ARCHITECT TO VERIFY DEMO SCOPE OF WORK PRIOR TO DEMOLITION.
 - CONTRACTOR IS ENCOURAGED TO PERFORM ECO-DEMOLITION AND SALVAGE AS MUCH AS POSSIBLE. PROVIDE OWNER WITH DONATION/SALVAGE QUOTE & CREDIT PRIOR TO DEMOLITION EXECUTION.
 - REMOVED MATERIALS SUCH AS FIXTURES, APPLIANCES, AND OTHER ELEMENTS SUITABLE FOR RECYCLING TO BE SOLD OR DONATED FOR SUCH PURPOSE.
 - DASHED ITEMS ARE USED TO DENOTE ITEMS TO BE REMOVED, NOTE THAT OTHER LINES SUCH AS SOFFITS ABOVE, EAVES AND HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINE. IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING.
 - IF DEMOLITION FOR CONSTRUCTION PURPOSES IS REQUIRED BEYOND WHAT IS SHOWN IN DEMO CALCULATIONS, CONTRACTOR MUST SCHEDULE ON-SITE MEETING WITH PLANNING & BUILDING INSPECTORS FOR REVIEW AND APPROVAL PRIOR TO DEMOLITION OF ANY STRUCTURAL FRAMING.
 - ALL EXISTING STRUCTURAL FRAMING MEMBERS (WOOD STUDS OR OTHER) TO BE REUSED TO MEET DEMO CALCULATIONS SHALL BE STORED ON SITE IMMEDIATELY ADJACENT (OR AS CLOSE AS POSSIBLE) TO THE ORIGINAL WALLS AND PARTITIONS.
 - DRY ROT, CONTRACTOR TO VISUALLY INSPECT FOR DRY ROT AND MAKE RECOMMENDATIONS TO OWNER AND ARCHITECT. BEFORE REMOVING AND REPLACING ELEMENTS AFFECTED BY DRY ROT BEYOND WHAT IS NOTED IN ARCHITECTURAL PLANS, CONTRACTOR TO NOTIFY BUILDING INSPECTOR.

- DEMO KEY NOTES:**
- D1** REMOVE ROOF STRUCTURE. SAVE SLATE TILES WHERE POSSIBLE

EXISTING / DEMO ROOF PLAN LEGEND:

- PROPERTY LINE
- - - - - REQ'D SETBACK
- [Hatched Box] (E) ROOF TO BE REMOVED
- [Dashed Box] (E) ELEMENTS TO BE REMOVED
- [Double Line] GLASS GUARDRAIL
- [Brick Pattern Box] SHINGLE ROOF
- [Stippled Box] FLAT ROOF
- [Star Symbol] ROOF DRAIN

1 EXISTING / DEMO PLAN: ROOF
1/4" = 1'-0"

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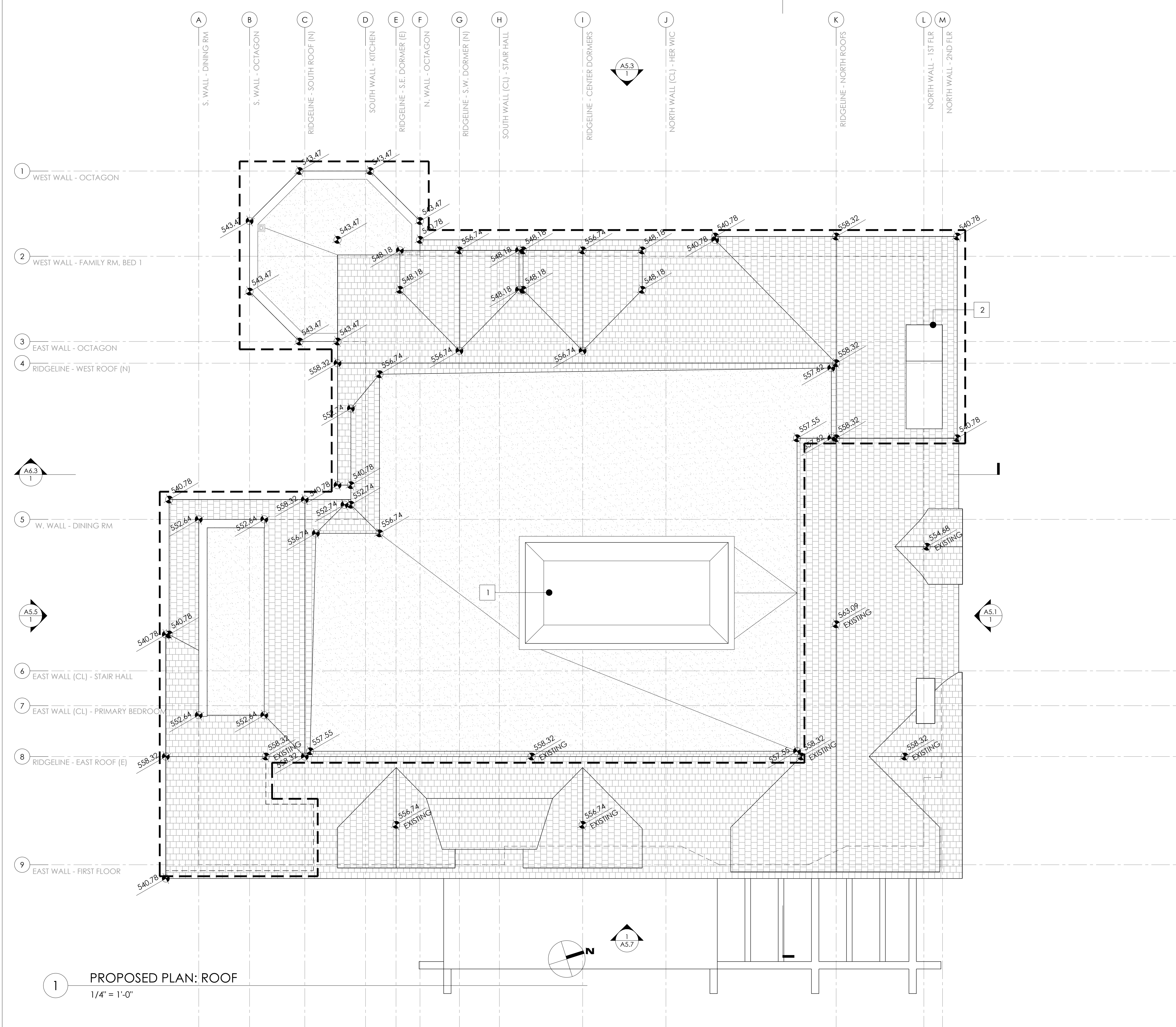
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DEMO PLAN:
MAIN HOUSE ROOF

1/4" = 1'-0"

A2.6

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1 PROPOSED PLAN: ROOF
1/4" = 1'-0"

GENERAL NOTES:

1. ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH, U.O.N.
2. ALL NEW ROOFING SHALL BE CLASS A MATERIAL.

KEY NOTES:

- 1 (N) SKYLIGHT WITH LAY LIGHT BELOW
- 2 (N) STONE CHIMNEY WITH COPPER HAT

PROPOSED ROOF PLAN LEGEND:

- PROPERTY LINE
- - - REQ'D SETBACK
- [Hatched Box] SLATE ROOF
- [Stippled Box] FLAT ROOF
- [Star Symbol] ROOF DRAIN
- [Arrow with 'xxx.xx'] STORY POLE LOCATION
- [Arrow with 'xxx.xx EXISTING'] HEIGHT OF EXISTING ROOF

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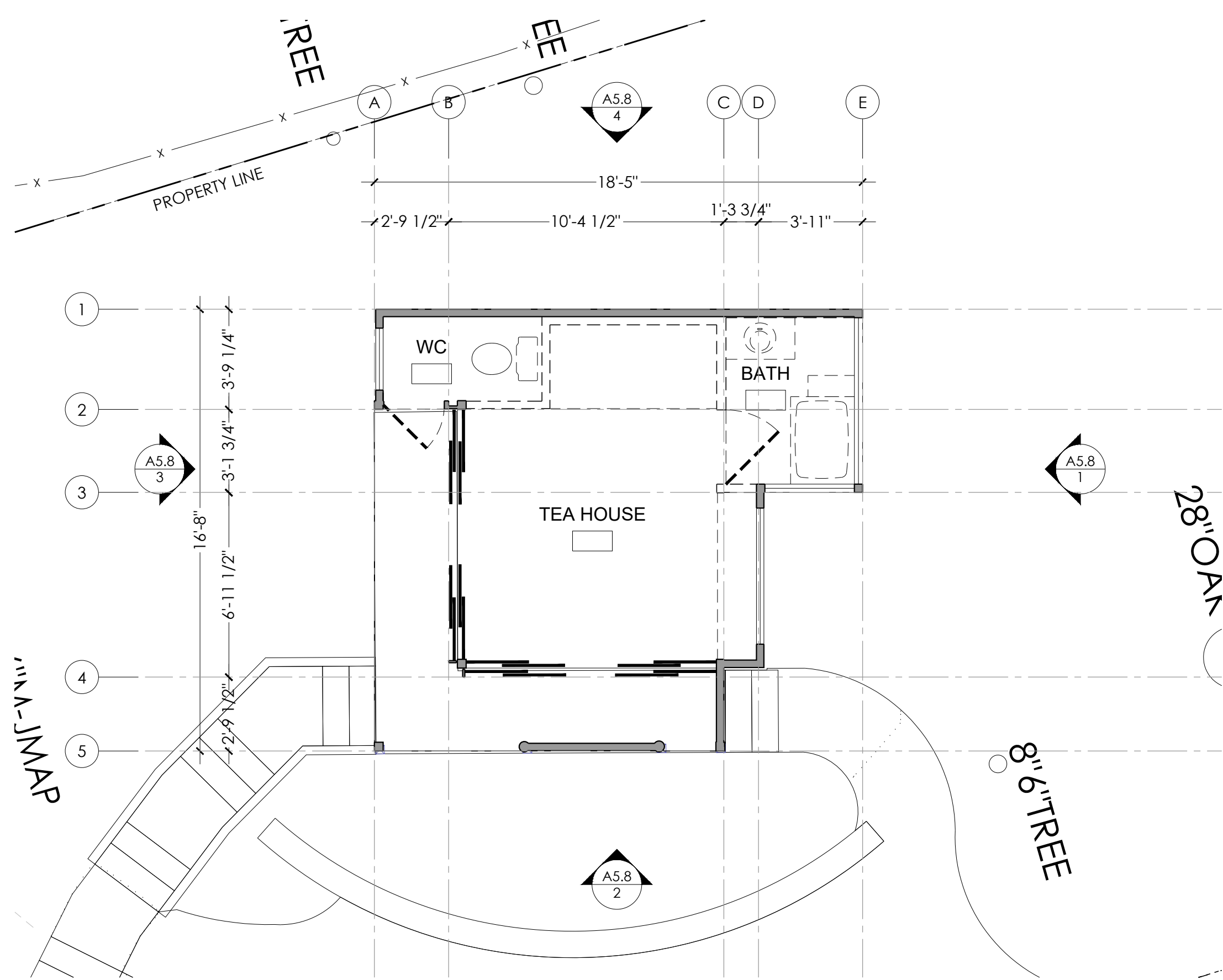
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PROPOSED PLAN:
MAIN HOUSE ROOF & STORY POLES

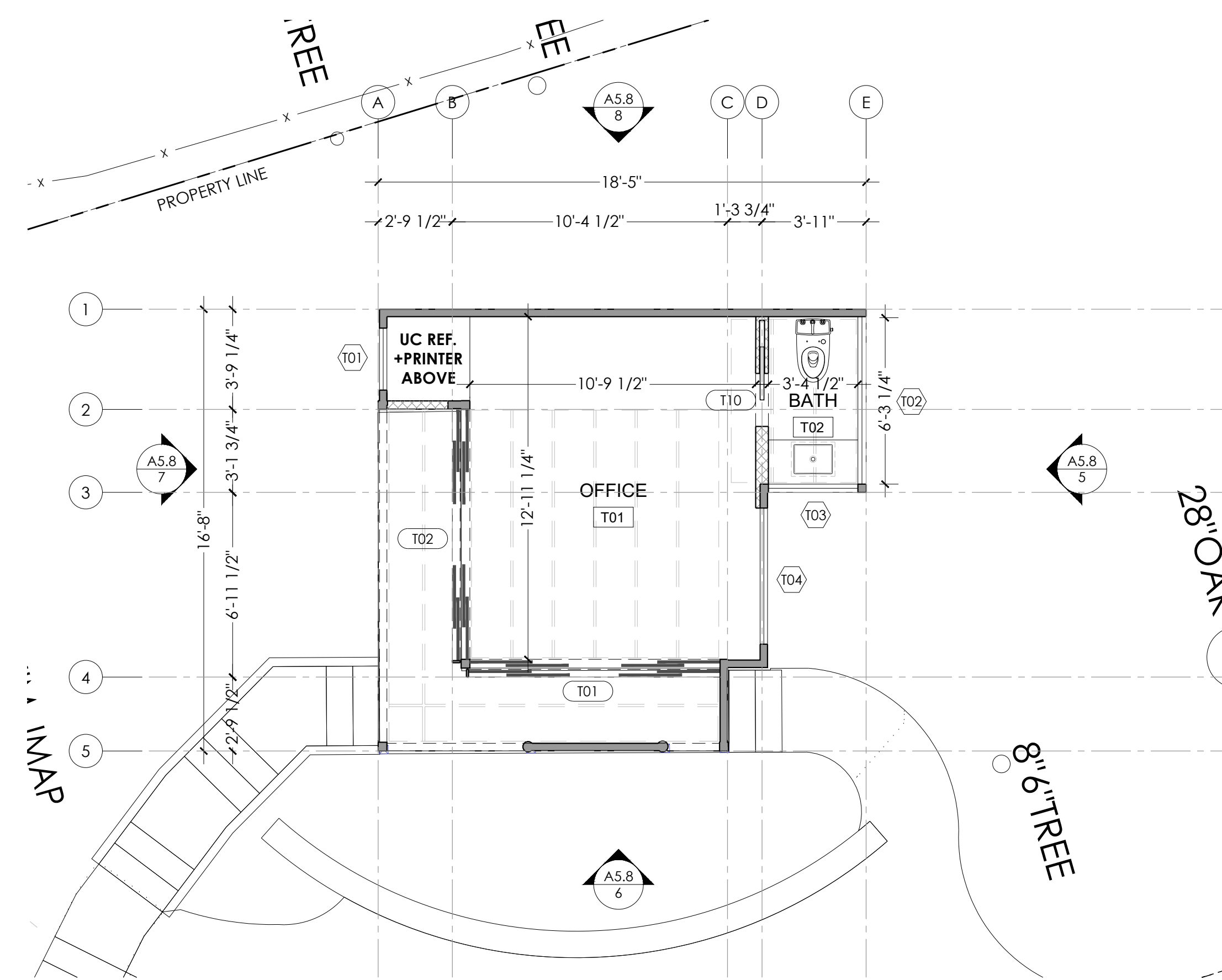
1/4" = 1'-0"

A2.7

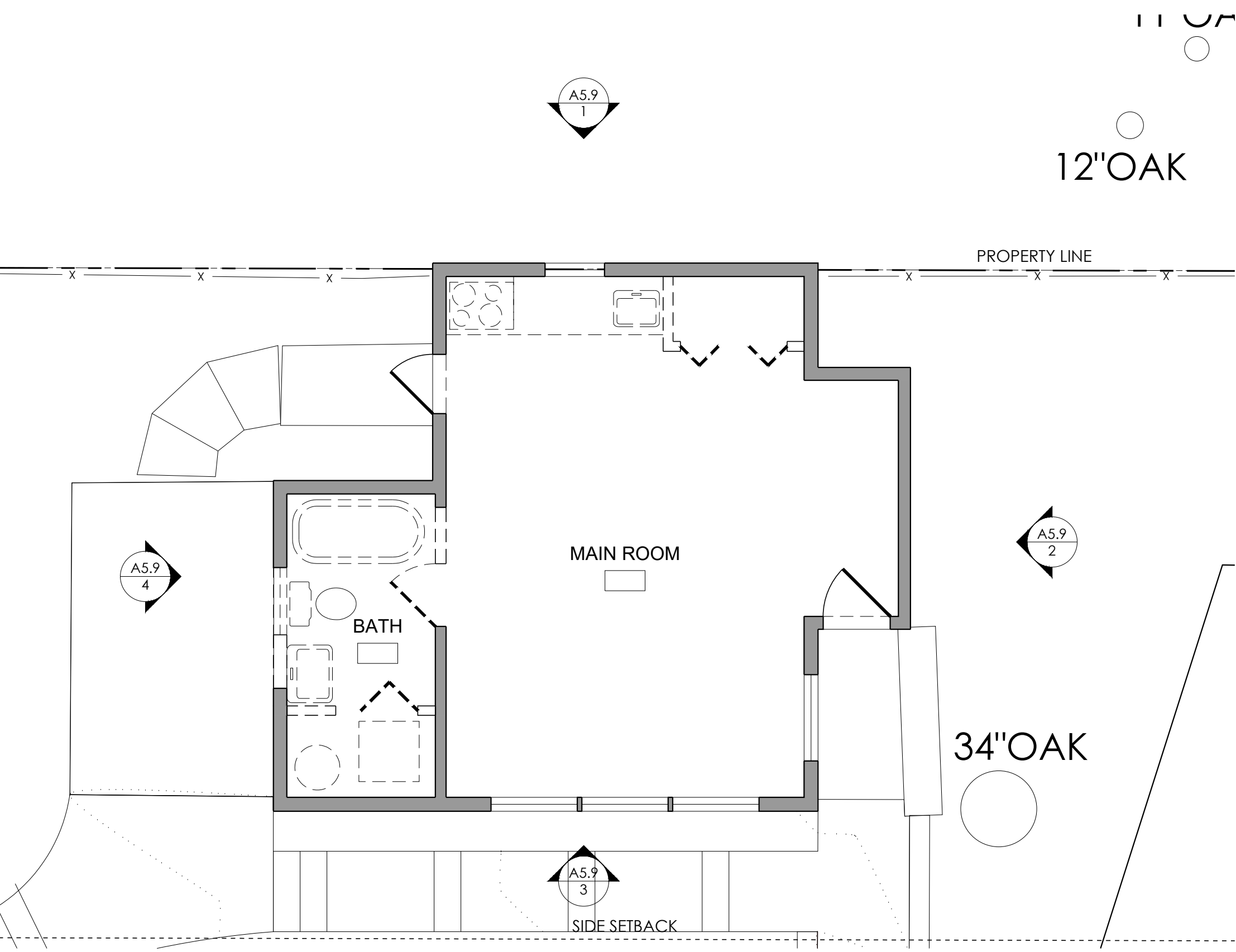
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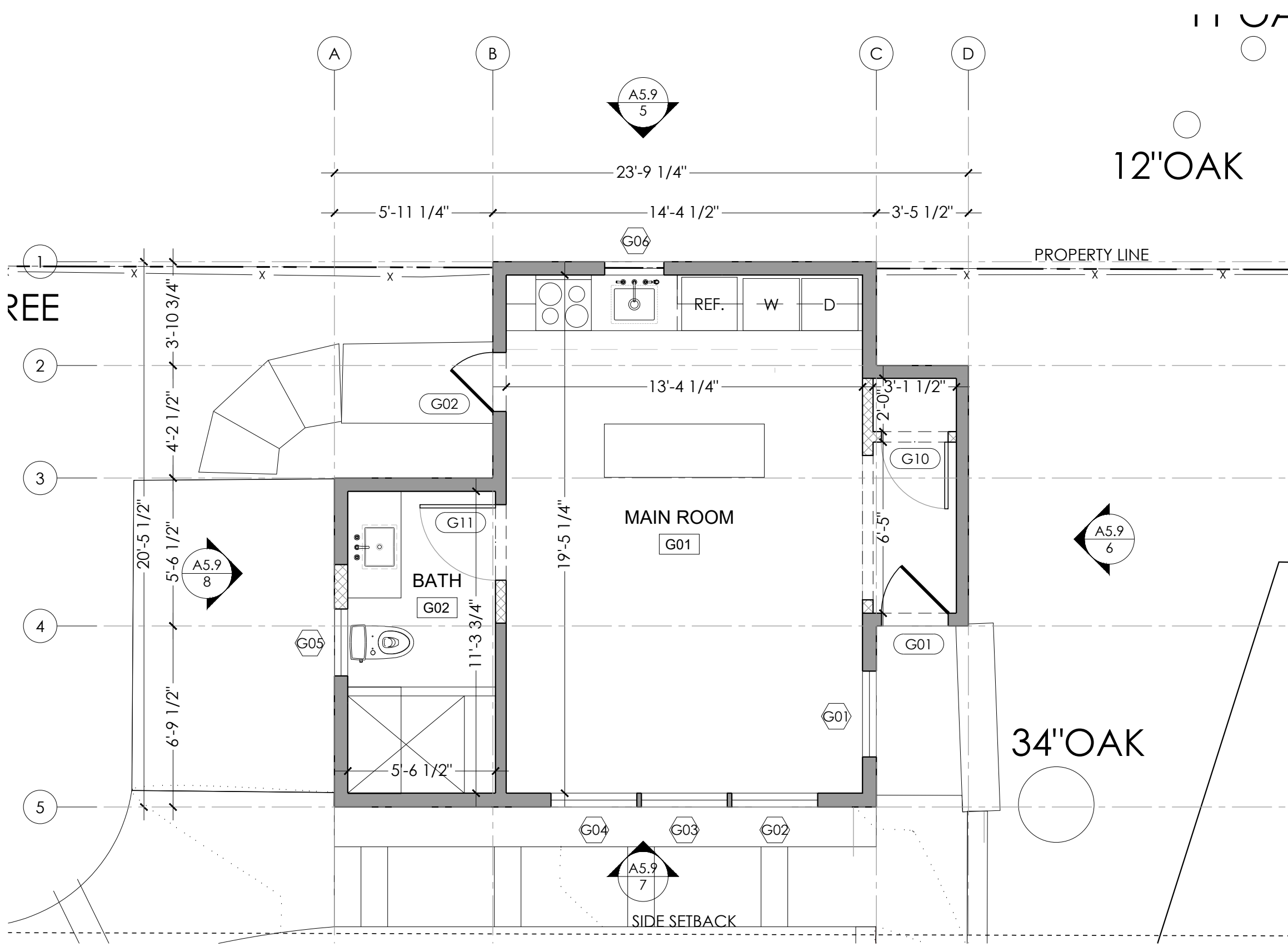
1 EXISTING / DEMO PLAN: TEA HOUSE
1/4" = 1'-0"



2 PROPOSED PLAN: TEA HOUSE
1/4" = 1'-0"



3 EXISTING / DEMO PLAN: GUEST HOUSE
1/4" = 1'-0"



4 PROPOSED PLAN: GUEST HOUSE
1/4" = 1'-0"

- GENERAL DEMO NOTES:**
1. CONTRACTOR TO PERFORM HAZARDOUS MATERIAL TESTING PRIOR TO DEMO.
 2. CONTRACTOR TO IDENTIFY ALL AREA OF ALL WALL FINISH REMOVAL AND PERFORM WALK-THRU WITH OWNER & ARCHITECT TO VERIFY DEMO SCOPE OF WORK PRIOR TO DEMOLITION.
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DEMO PLAN LEGEND:

	PROPERTY LINE
	REQ'D SETBACK
	(E) WALLS TO REMAIN. UPGRADE TO MIN. 5/8" THK. FIRE CODE TYPE X FINISH IF WALL IS REMOVED AND REPLACED
	AREA TO BE EXCAVATED
	(E) WALLS TO BE REMOVED
	(E) ELEMENTS TO BE REMOVED
	(N) WALLS & PARTITIONS
	(N) 1 HOUR RATED WALL
	(N) SOLID 42" H. GUARDRAIL
	(N) 30" PARAPET WALL AT SKYLIGHTS WITHIN 5'-0" OF PROPERTY LINE
	(N) FENCE
	EGRESS PATH & LENGTH OF PATH SEGMENT

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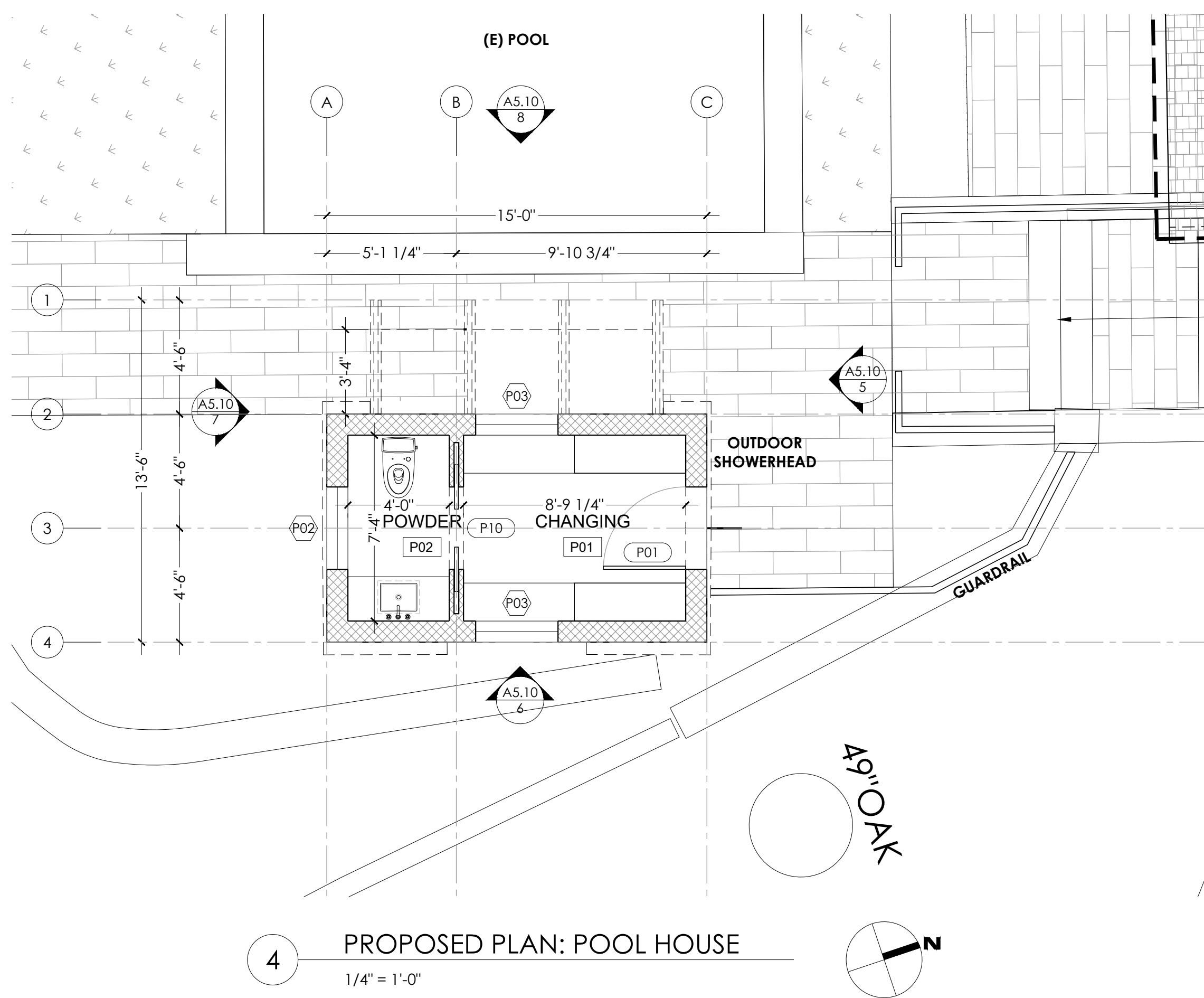
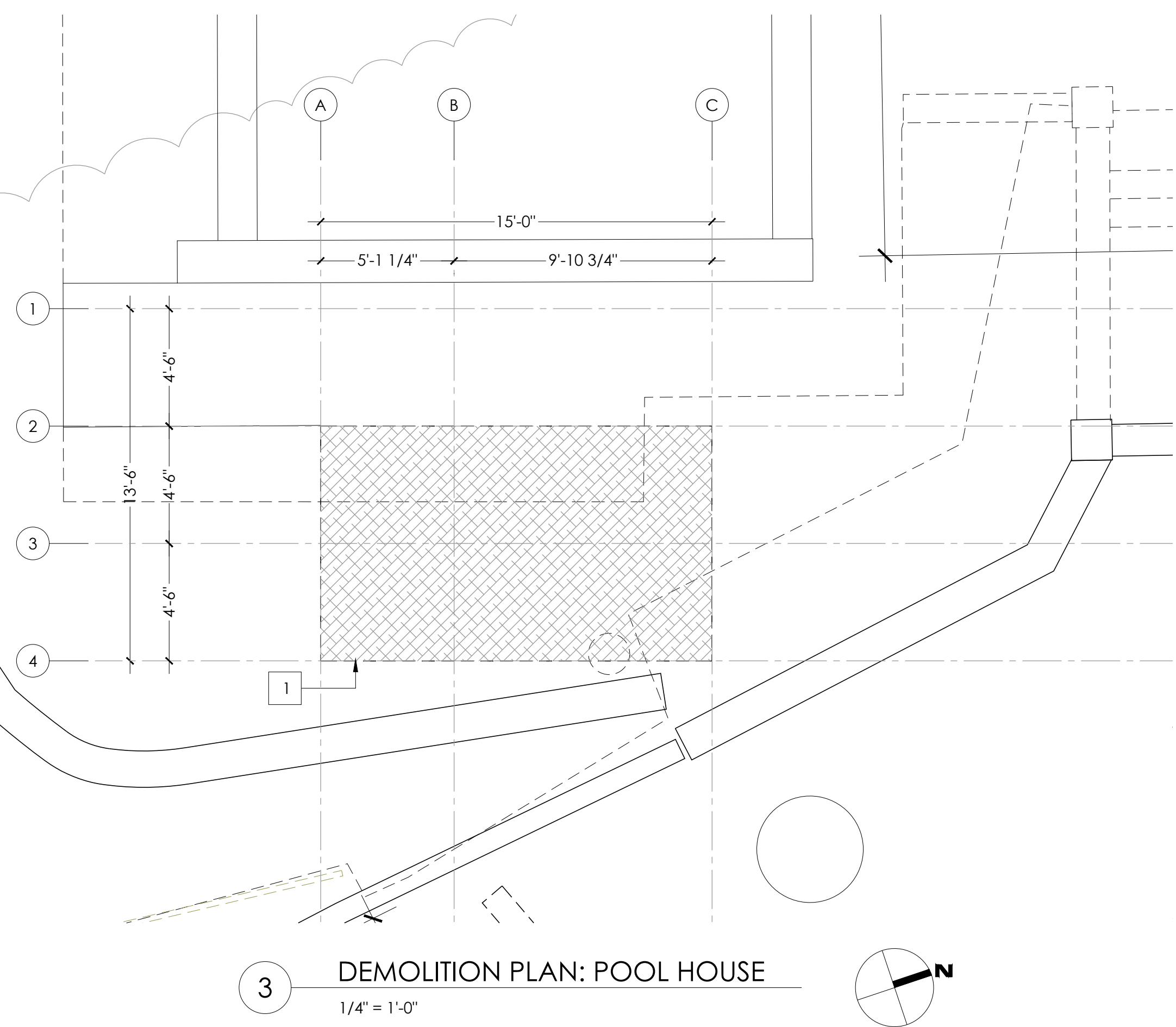
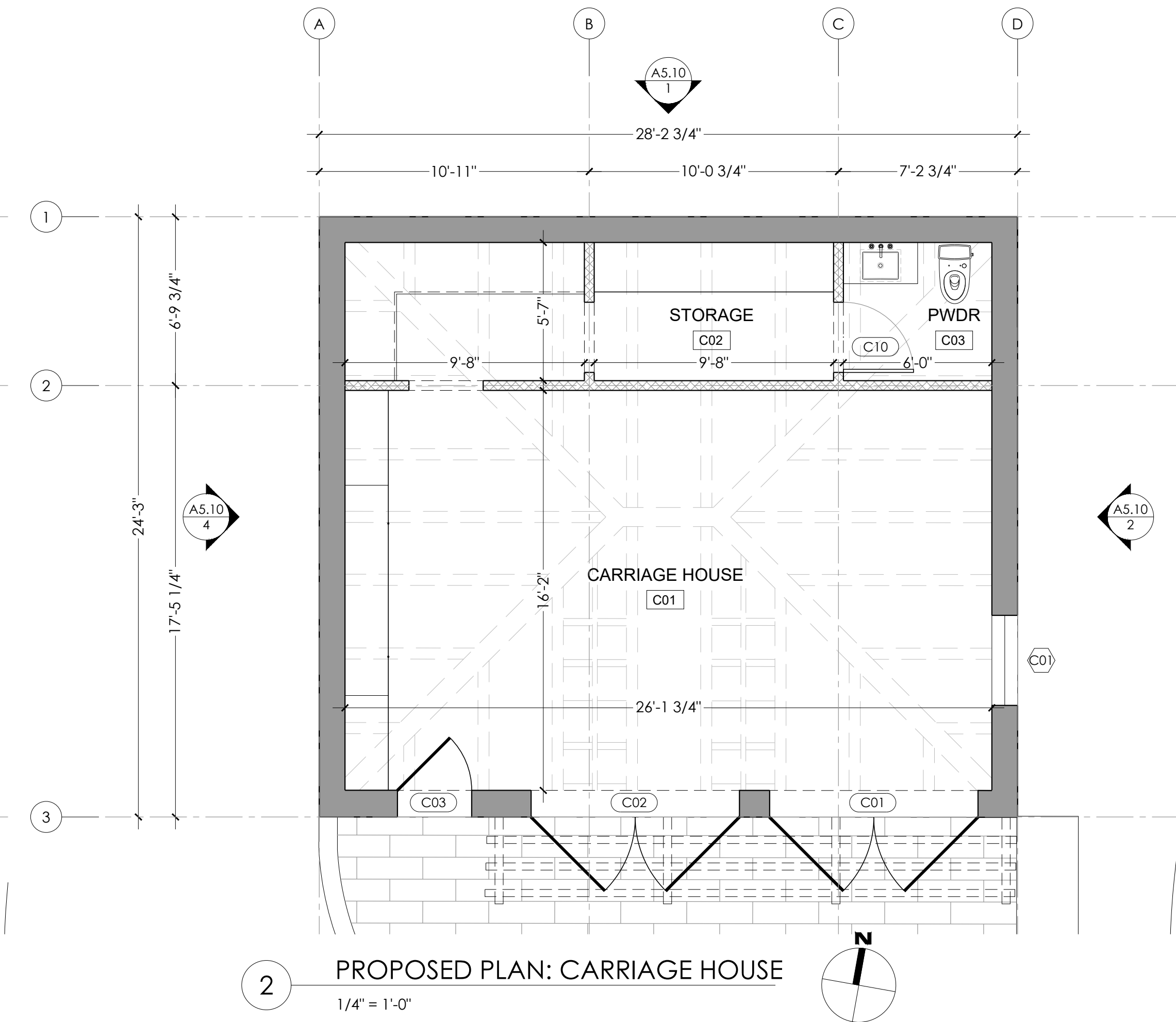
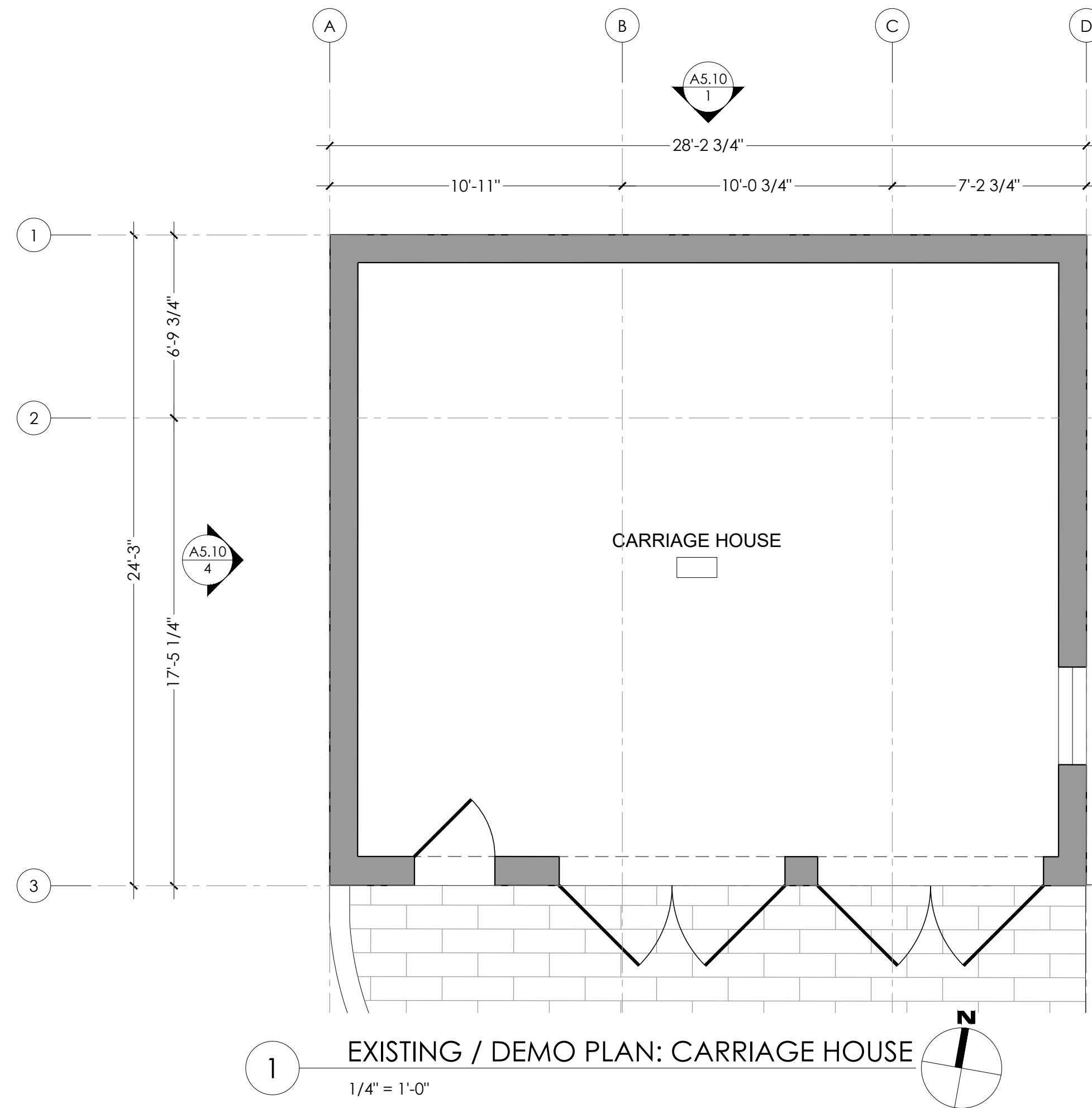
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DEMO & PROPOSED PLANS:
TEA HOUSE & GUEST HOUSE

1/4" = 1'-0"

A2.8

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- KEY NOTES:**
- EXCAVATE FOR POOL HOUSE FOUNDATION

DEMO PLAN LEGEND:

	PROPERTY LINE
	REQ'D SETBACK
	(E) WALLS TO REMAIN. UPGRADE TO MIN. 5/8" THK. FIRE CODE TYPE X FINISH IF WALL IS REMOVED AND REPLACED
	AREA TO BE EXCAVATED
	(E) WALLS TO BE REMOVED
	(E) ELEMENTS TO BE REMOVED
	(N) WALLS & PARTITIONS
	(N) 1 HOUR RATED WALL
	(N) SOLID 42" H. GUARDRAIL
	(N) 30" PARAPET WALL AT SKYLIGHTS WITHIN 5'-0" OF PROPERTY LINE
	(N) FENCE
	EGRESS PATH & LENGTH OF PATH SEGMENT

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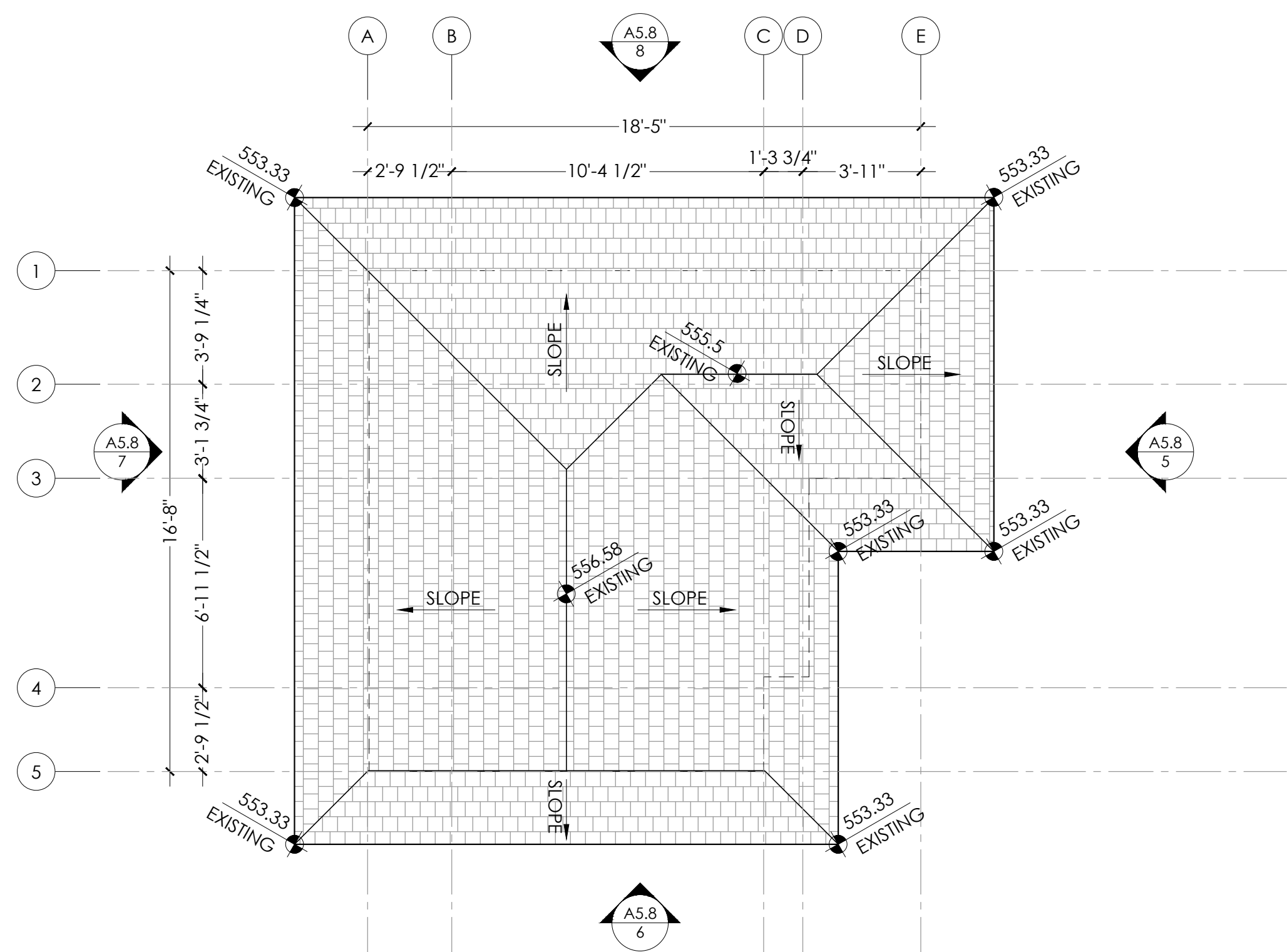
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**DEMO & PROPOSED PLANS:
CARRIAGE HOUSE & POOL HOUSE**

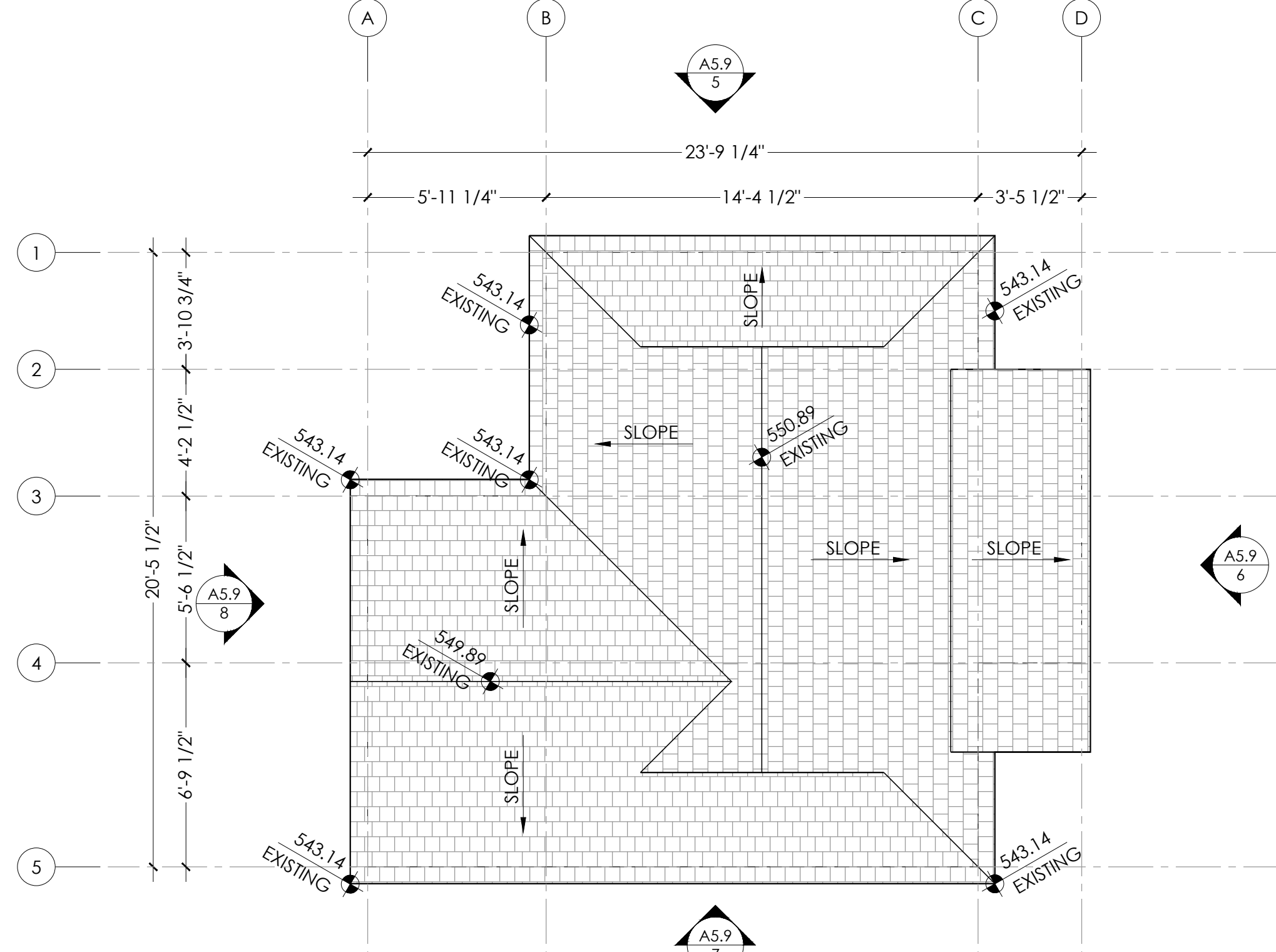
1/4" = 1'-0"

A2.9

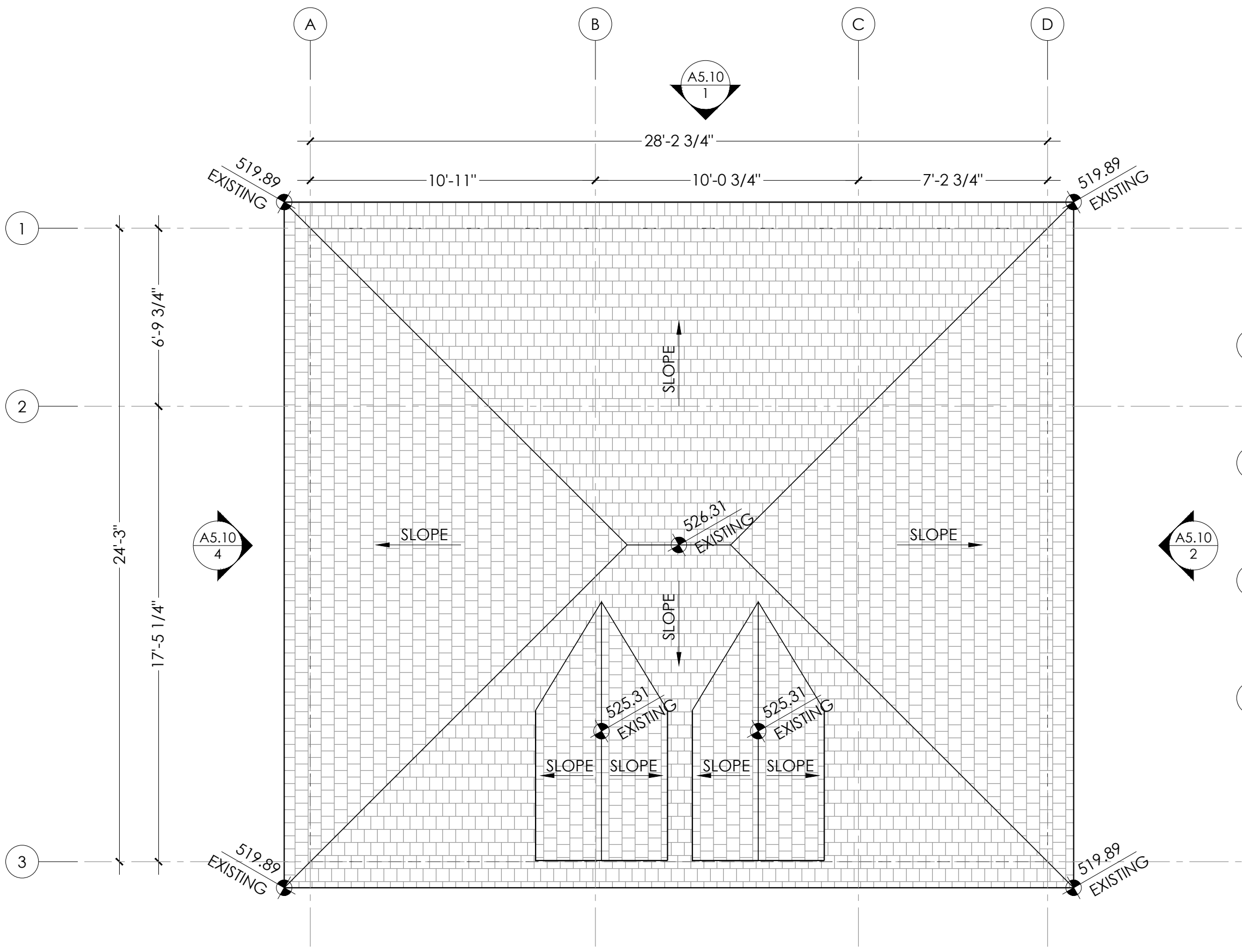
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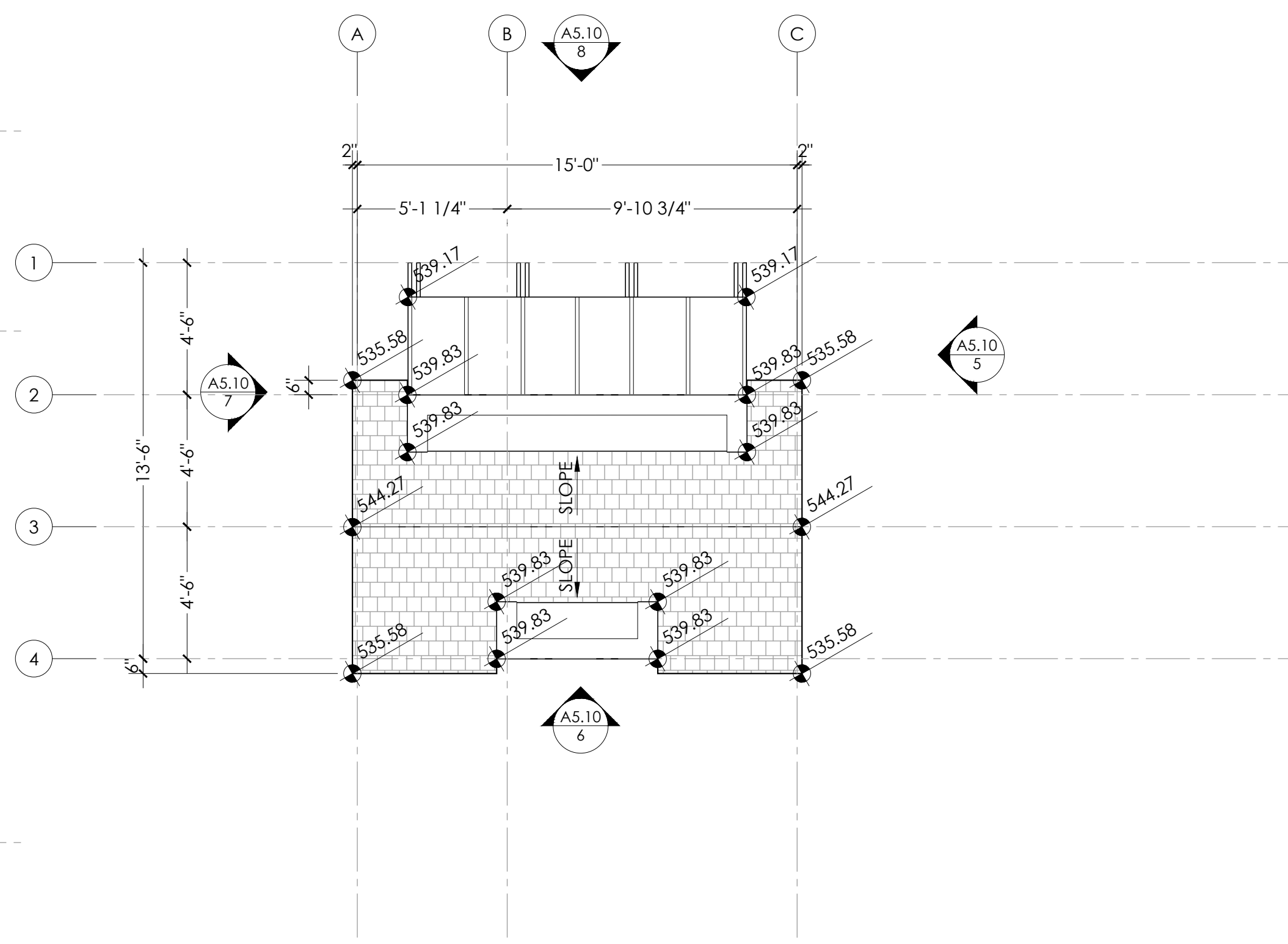
1 PROPOSED ROOF PLAN: TEA HOUSE (NO CHANGE)
1/4" = 1'-0"



2 PROPOSED PLAN: GUEST HOUSE (NO CHANGE)
1/4" = 1'-0"

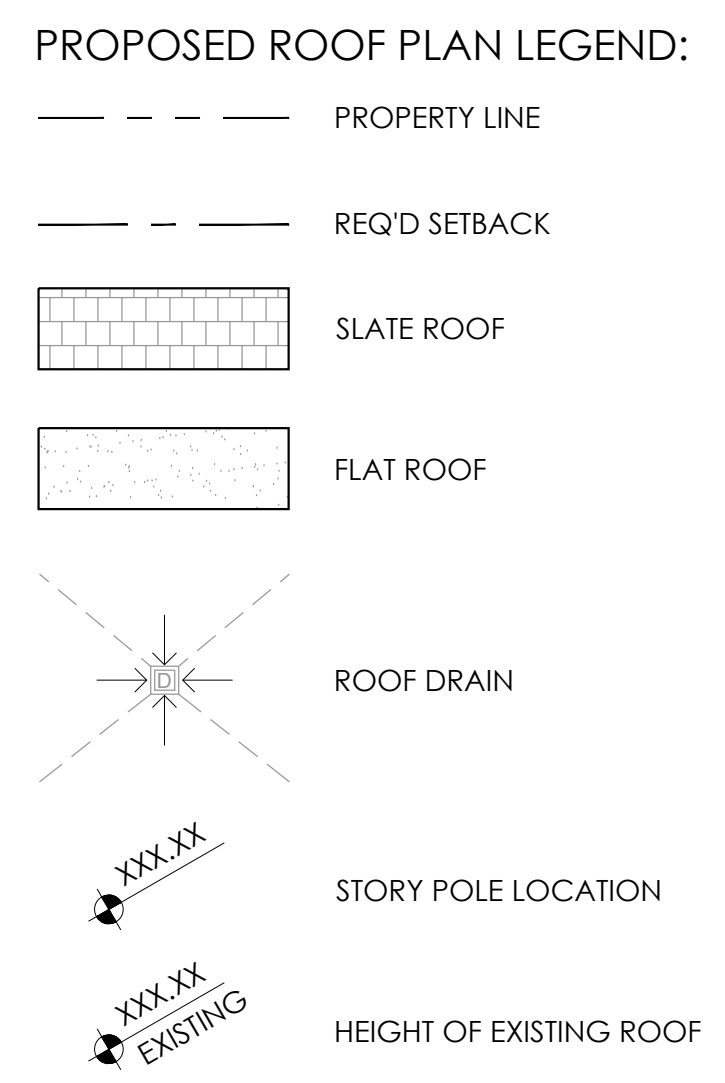


3 PROPOSED PLAN: CARRIAGE HOUSE ROOF (NO CHANGE)
1/4" = 1'-0"



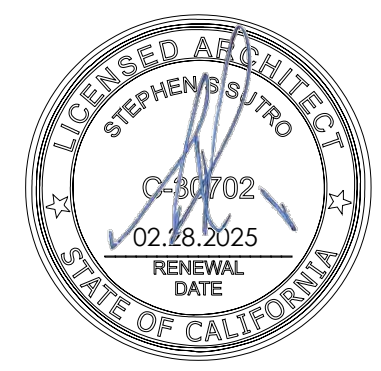
4 PROPOSED PLAN: POOL HOUSE ROOF & STORY POLES
1/4" = 1'-0"

GENERAL NOTES:
1. ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH, U.O.N.



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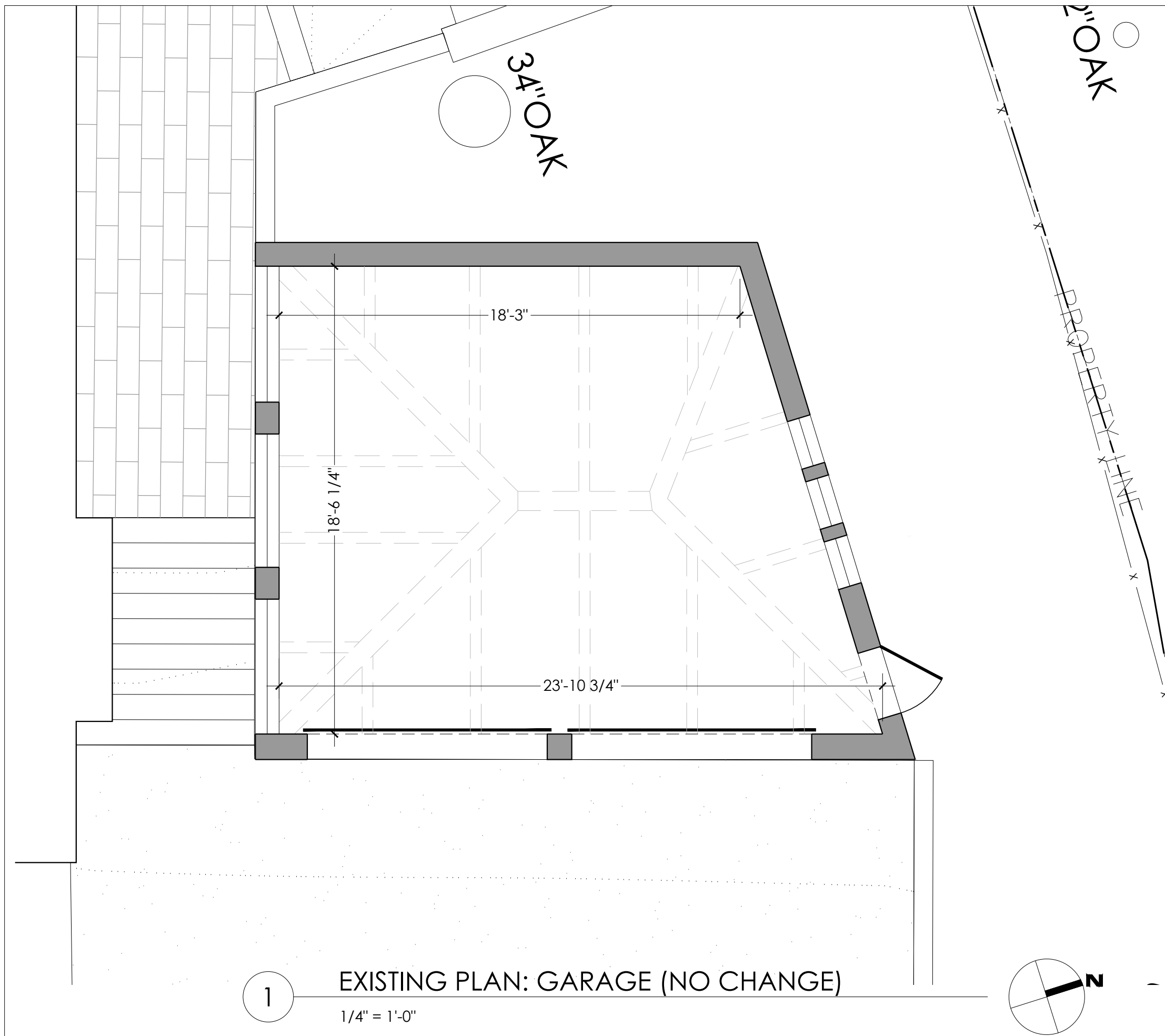
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PROPOSED ROOF PLANS & STORY POLES:
OUTBUILDINGS

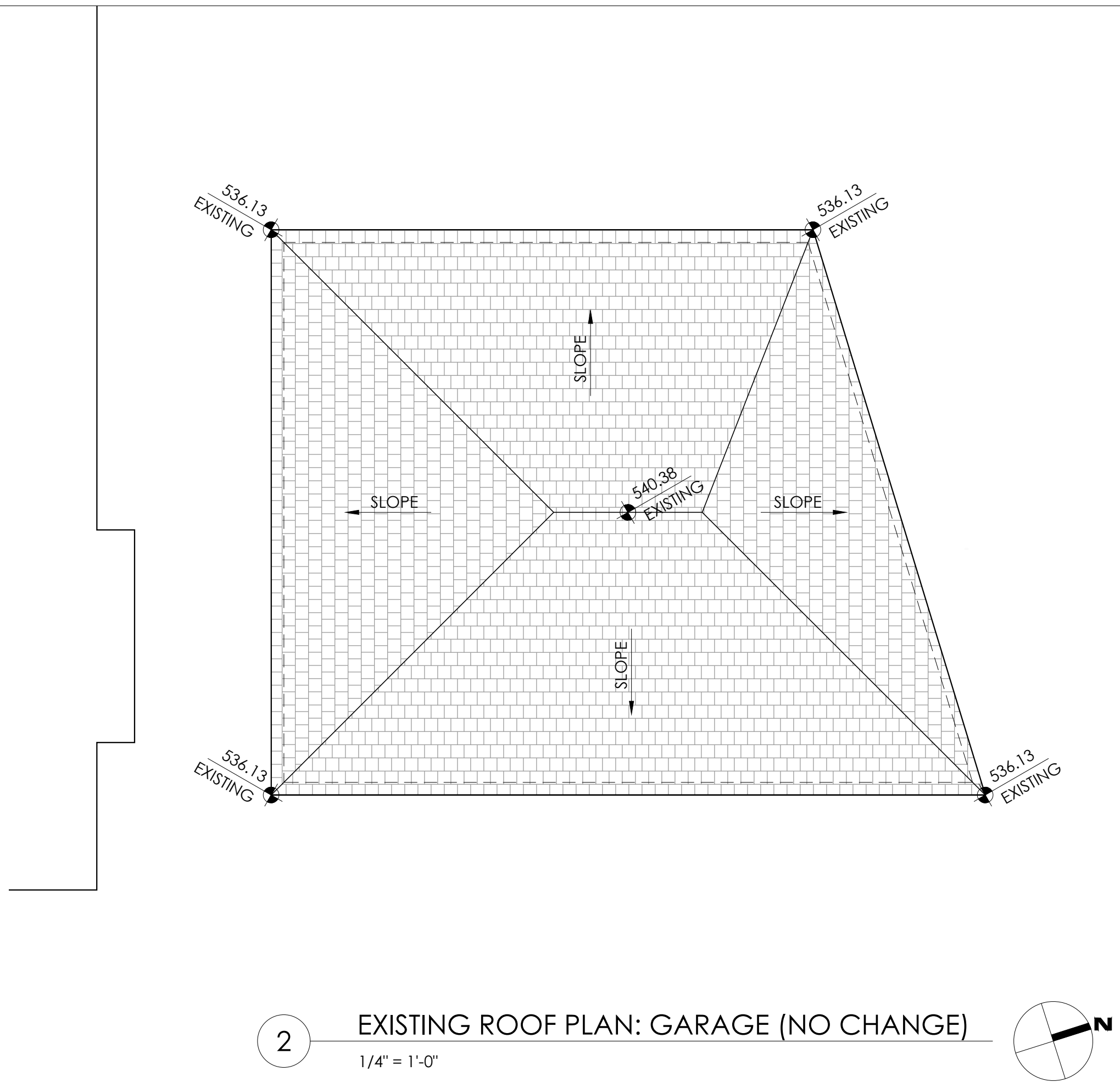
1/4" = 1'-0"

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1 EXISTING PLAN: GARAGE (NO CHANGE)
1/4" = 1'-0"



2 EXISTING ROOF PLAN: GARAGE (NO CHANGE)
1/4" = 1'-0"

GENERAL FLOOR PLAN NOTES:

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4. NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER C.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

PROPOSED FLOOR PLAN LEGEND:

- PROPERTY LINE
- - - REQ'D SETBACK
- █ (E) WALLS TO REMAIN, UPGRADE TO MIN. 5/8" THK. FIRE CODE TYPE X FINISH IF WALL IS REMOVED AND REPLACED
- ▨ (N) WALLS & PARTITIONS
- ▩ (N) 1 HOUR RATED WALL
- ▧ (N) SOLID 42" H. GUARDRAIL
- ▦ (N) 30" PARAPET WALL AT SKYLIGHTS WITHIN 5'-0" OF PROPERTY LINE
- ⋯ (N) FENCE
- - - EGRESS PATH & LENGTH OF PATH SEGMENT

PROPOSED ROOF PLAN LEGEND:

- PROPERTY LINE
- - - REQ'D SETBACK
- ▨ SLATE ROOF
- ▩ FLAT ROOF
- ⊗ ROOF DRAIN
- ▲ XXX.XX STORY POLE LOCATION
- ▲ XXX.XX EXISTING HEIGHT OF EXISTING ROOF

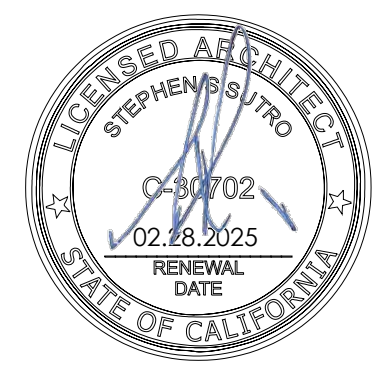
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EXISTING PLANS:
GARAGE

1/4" = 1'-0"

A2.11

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GENERAL DEMO NOTES:

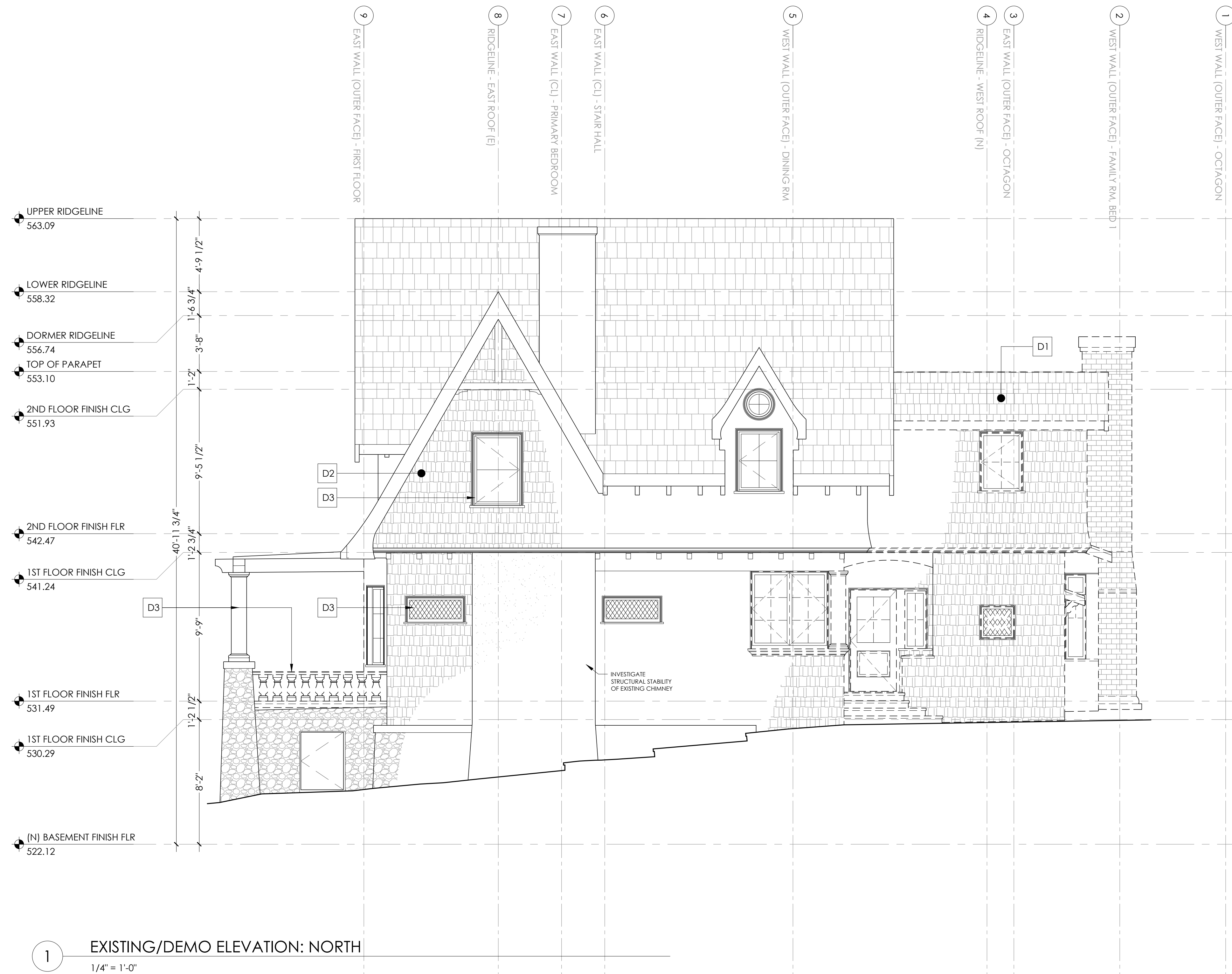
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DEMO KEY NOTES:

- D1 PRESERVE ROOF SLATE FOR REUSE WHERE APPLICABLE
- D2 REMOVE SHINGLES FROM EXISTING WALLS
- D3 PROTECT EXISTING WINDOWS TO REMAIN AS REQUIRED
- D4 REMOVE EXISTING TRELLIS AND GUARDRAIL; PROTECT EXISTING PILLARS AS REQUIRED

DEMO LEGEND:

- PROPERTY LINE
- REQ'D SETBACK
- (E) WALLS TO BE REMOVED



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EXISTING / DEMO
ELEVATION: NORTH

1/4" = 1'-0"

A5.0

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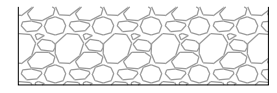
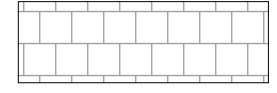
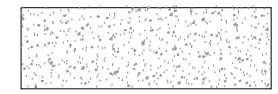
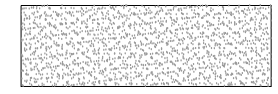
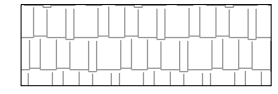
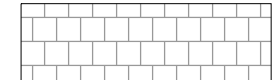
GENERAL NOTES:

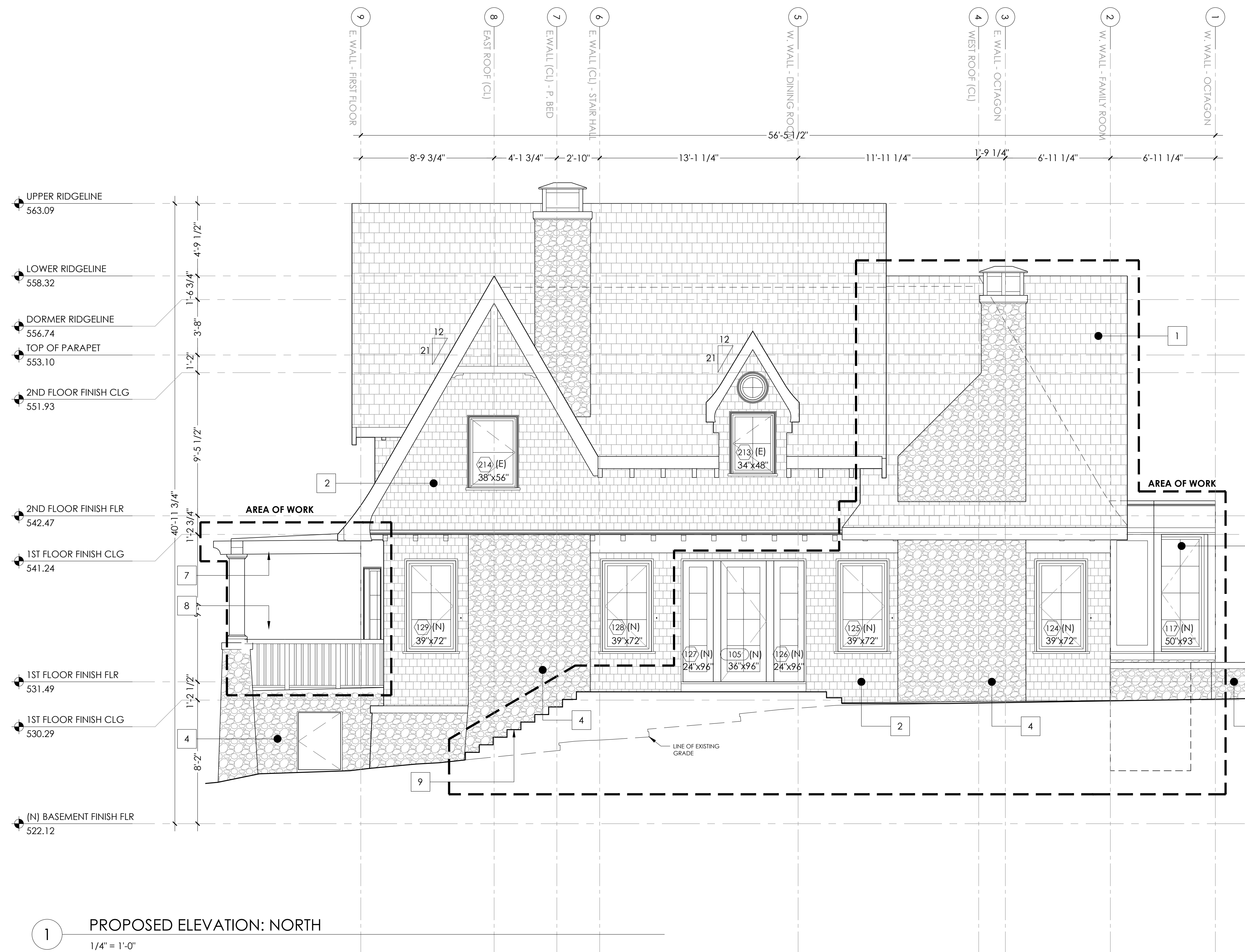
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KEY NOTES:

- | | | | |
|---|--|---|--------------------|
| 1 | EXISTING OR NEW-TO-MATCH SLATE ROOF TILES; SEE MATERIALS BOARD, A0.3/A | 7 | NEW TRELLIS |
| 2 | NEW WOOD SHINGLE SIDING; SEE MATERIALS BOARD, A0.3/B | 8 | NEW GUARDRAIL |
| 3 | NEW PAINTED EXTERIOR WOOD PANELS; SEE MATERIALS BOARD, A0.3/C | 9 | NEW EXTERIOR STAIR |
| 4 | EXISTING OR NEW-TO-MATCH STONE CLADDING; SEE MATERIALS BOARD, A0.3/D | | |
| 5 | NEW COURSED STONE RETAINING WALLS; SEE MATERIALS BOARD 0.3/E | | |
| 6 | EXISTING OR NEW-TO-MATCH BLUESTONE PAVERS; SEE MATERIALS BOARD 0.3/F | | |

LEGEND:

- | | | | |
|---|-----------------------|---|------------------|
| --- | PROPERTY LINE |  | STONE CLADDING |
| --- | REQ'D SETBACK |  | SLATE ROOF TILES |
|  | CONCRETE | | |
|  | STUCCO | | |
|  | EXISTING SHAKE SIDING | | |
|  | NEW SHINGLE SIDING | | |



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PROPOSED ELEVATION:
NORTH

1/4" = 1'-0"

A5.1

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- D4 REMOVE EXISTING TRELLIS AND GUARDRAIL; PROTECT EXISTING PILLARS AS REQUIRED

DEMO LEGEND:

- PROPERTY LINE
- REQ'D SETBACK
- (E) WALLS TO BE REMOVED



1 EXISTING/DEMO ELEVATION: EAST
1/4" = 1'-0"

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EXISTING / DEMO
ELEVATION: EAST

1/4" = 1'-0"

A5.2

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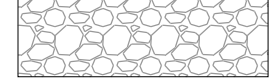
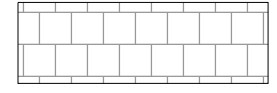
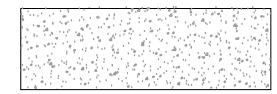

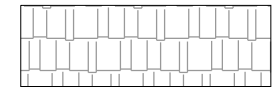
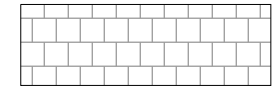
GENERAL NOTES:

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KEY NOTES:

- | | | | |
|---|--|---|--------------------|
| 1 | EXISTING OR NEW-TO-MATCH SLATE ROOF TILES; SEE MATERIALS BOARD, A0.3/A | 7 | NEW TRELLIS |
| 2 | NEW WOOD SHINGLE SIDING; SEE MATERIALS BOARD, A0.3/B | 8 | NEW GUARDRAIL |
| 3 | NEW PAINTED EXTERIOR WOOD PANELS; SEE MATERIALS BOARD, A0.3/C | 9 | NEW EXTERIOR STAIR |
| 4 | EXISTING OR NEW-TO-MATCH STONE CLADDING; SEE MATERIALS BOARD, A0.3/D | | |
| 5 | NEW COURSED STONE RETAINING WALLS; SEE MATERIALS BOARD 0.3/E | | |
| 6 | EXISTING OR NEW-TO-MATCH BLUESTONE PAVERS; SEE MATERIALS BOARD 0.3/F | | |

LEGEND:

- | | | | |
|---|-----------------------|---|------------------|
| --- | PROPERTY LINE |  | STONE CLADDING |
| --- | REQ'D SETBACK |  | SLATE ROOF TILES |
|  | CONCRETE | | |
|  | STUCCO | | |
|  | EXISTING SHAKE SIDING | | |
|  | NEW SHINGLE SIDING | | |



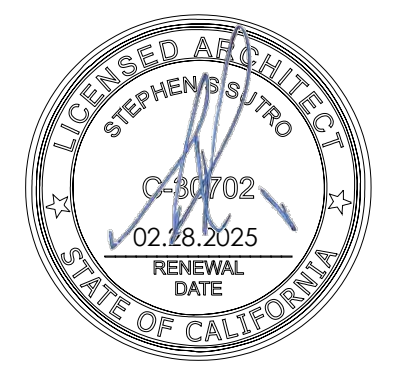
1 PROPOSED ELEVATION: EAST
1/4" = 1'-0"

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PROPOSED ELEVATION:
EAST

1/4" = 1'-0"

A5.3

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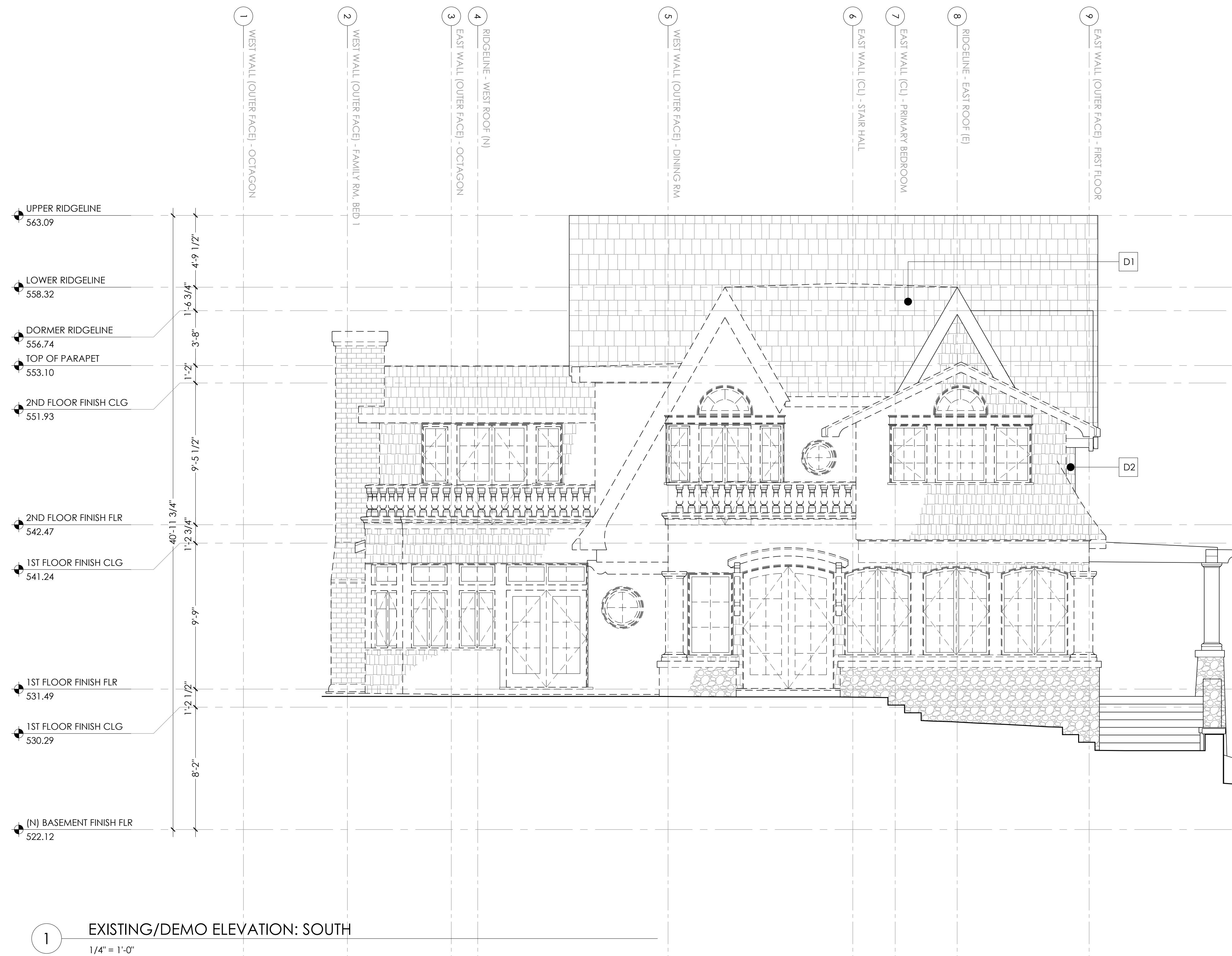
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DEMO LEGEND:

- PROPERTY LINE
- REQ'D SETBACK
- (E) WALLS TO BE REMOVED



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EXISTING / DEMO
ELEVATION: SOUTH

1/4" = 1'-0"

A5.4

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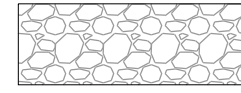
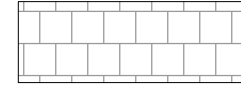
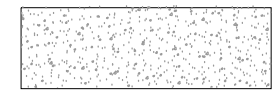
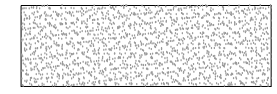
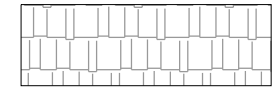
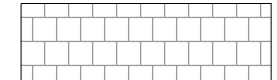
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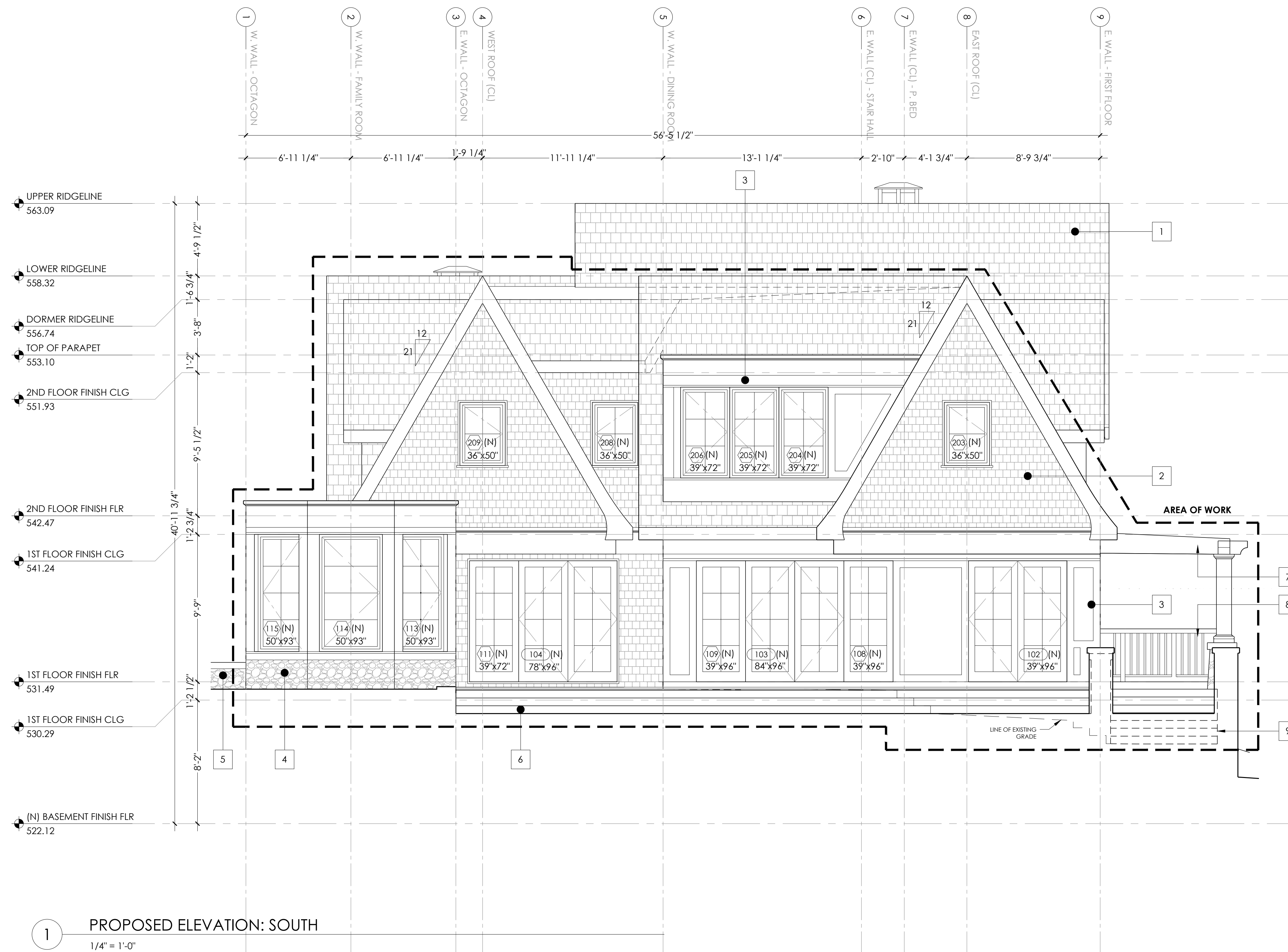
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| 5 | NEW COURSED STONE RETAINING WALLS; SEE MATERIALS BOARD 0.3/E | | |
| 6 | EXISTING OR NEW-TO-MATCH BLUESTONE PAVERS; SEE MATERIALS BOARD 0.3/F | | |

LEGEND:

- | | | | |
|---|-----------------------|---|------------------|
| --- | PROPERTY LINE |  | STONE CLADDING |
| --- | REQ'D SETBACK |  | SLATE ROOF TILES |
|  | CONCRETE | | |
|  | STUCCO | | |
|  | EXISTING SHAKE SIDING | | |
|  | NEW SHINGLE SIDING | | |



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PROPOSED ELEVATION:
SOUTH

1/4" = 1'-0"

A5.5

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- D4 REMOVE EXISTING TRELLIS AND GUARDRAIL; PROTECT EXISTING PILLARS AS REQUIRED

DEMO LEGEND:

- PROPERTY LINE
- REQ'D SETBACK
- (E) WALLS TO BE REMOVED



1 EXISTING/DEMO ELEVATION: WEST
1/4" = 1'-0"

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EXISTING / DEMO
ELEVATION: WEST

1/4" = 1'-0"

A5.6

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LEGEND:

- | | | | |
|-----|-----------------------|--|------------------|
| --- | PROPERTY LINE | | STONE CLADDING |
| --- | REQ'D SETBACK | | SLATE ROOF TILES |
| | CONCRETE | | |
| | STUCCO | | |
| | EXISTING SHAKE SIDING | | |
| | NEW SHINGLE SIDING | | |



1 PROPOSED ELEVATION: WEST
1/4" = 1'-0"

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PROPOSED ELEVATION:
WEST

1/4" = 1'-0"

A5.7

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GENERAL NOTES:

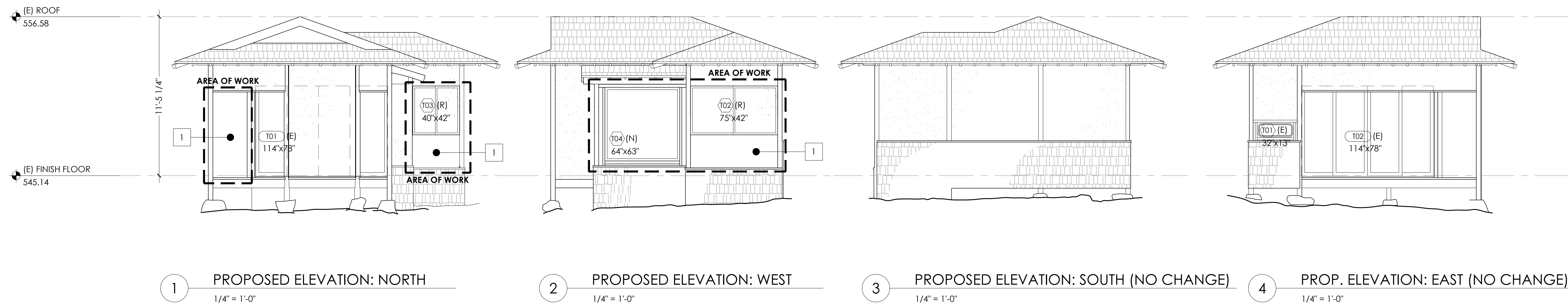
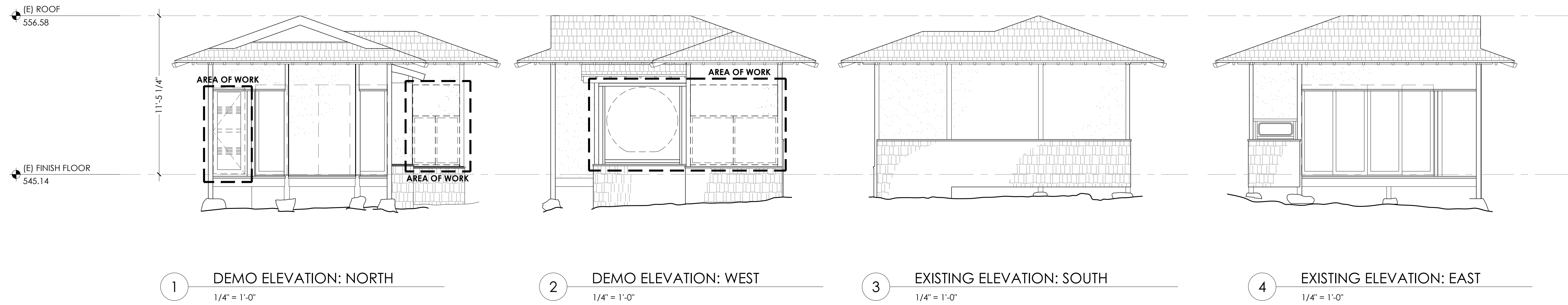
1. ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH U.O.N.
2. SEE MATERIALS BOARD ON A0.6 FOR PROPOSED MATERIAL REFERENCE IMAGES.

KEY NOTES:

- 1 PATCH AND MATCH WALL FINISH AT OPENING OF RELOCATED WINDOW AS REQUIRED.

LEGEND:

- PROPERTY LINE
- REQ'D SETBACK
- CONCRETE
- STUCCO
- EXISTING SHAKE SIDING
- NEW SHINGLE SIDING
- STONE CLADDING
- SLATE ROOF TILES

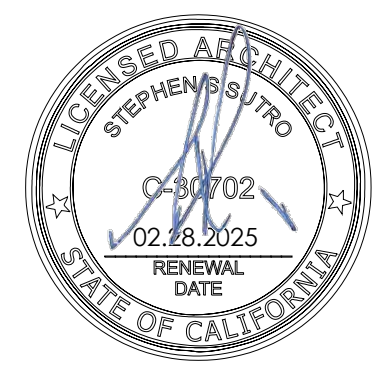


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DEMOLITION & PROPOSED ELEVATIONS:
TEA HOUSE

1/4" = 1'-0"

A5.8

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GENERAL NOTES:

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2. SEE MATERIALS BOARD ON A0.6 FOR PROPOSED MATERIAL REFERENCE IMAGES.

KEY NOTES:

- 1 PATCH AND MATCH WALL FINISH AT OPENING OF RELOCATED WINDOW AS REQUIRED.

LEGEND:

- PROPERTY LINE
- REQ'D SETBACK
- CONCRETE
- STUCCO
- EXISTING SHAKE SIDING
- NEW SHINGLE SIDING
- STONE CLADDING
- SLATE ROOF TILES



1 EXISTING ELEVATION: NORTH
1/4" = 1'-0"

2 DEMO ELEVATION: WEST
1/4" = 1'-0"

3 EXISTING ELEVATION: SOUTH
1/4" = 1'-0"

4 EXISTING ELEVATION: EAST
1/4" = 1'-0"



1 PROPOSED ELEVATION: NORTH (NO CHANGE)
1/4" = 1'-0"

2 PROPOSED ELEVATION: WEST
1/4" = 1'-0"

3 PROPOSED ELEVATION: SOUTH (NO CHANGE)
1/4" = 1'-0"

4 PROP. ELEVATION: EAST (NO CHANGE)
1/4" = 1'-0"

SUTRO ARCHITECTS

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ROSS RESIDENCE

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ROSS, CA 94957
PARCEL 073-121-09 | PROJECT NO. 2024.028



ADR SUBMITTAL
11.22.2024

DEMOLITION & PROPOSED ELEVATIONS:
GUEST HOUSE

1/4" = 1'-0"

A5.9

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GENERAL DEMO NOTES:

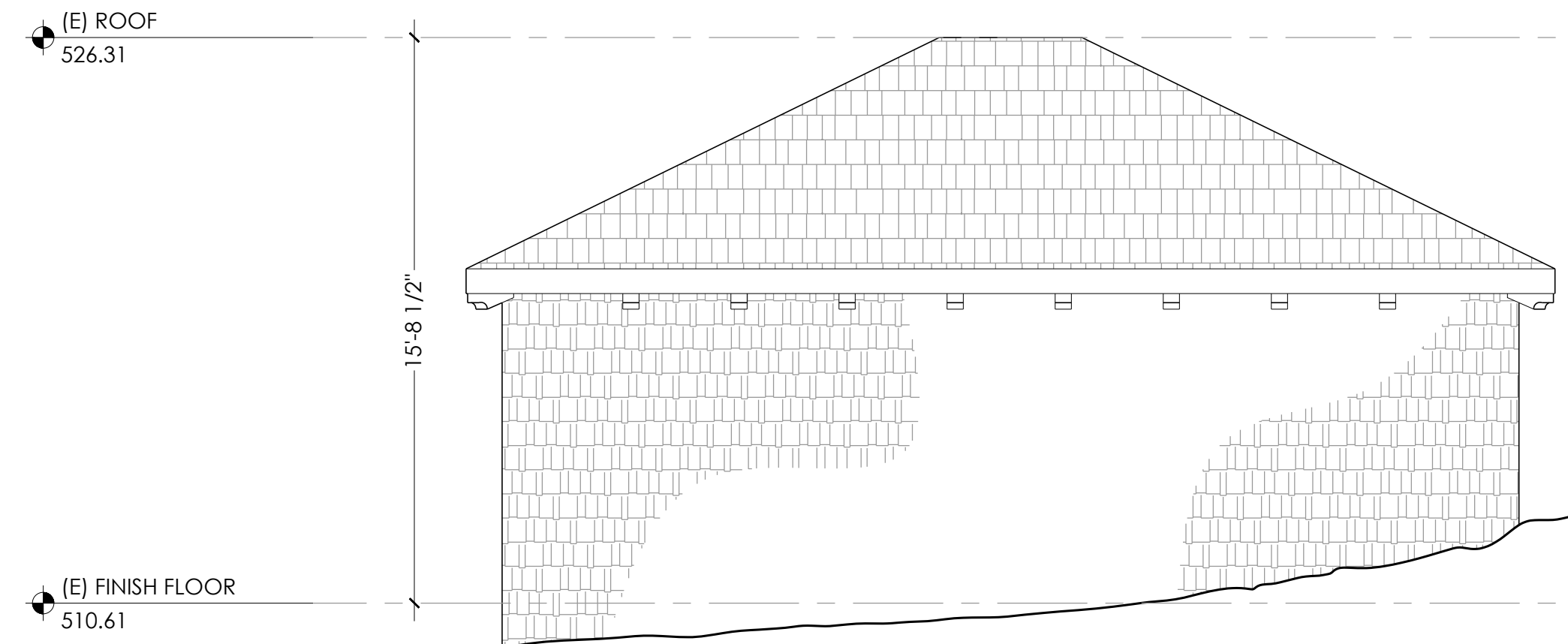
1. CONTRACTOR IS ENCOURAGED TO PERFORM ECO-DEMOLITION AND SALVAGE AS MUCH AS POSSIBLE.
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GENERAL NOTES:

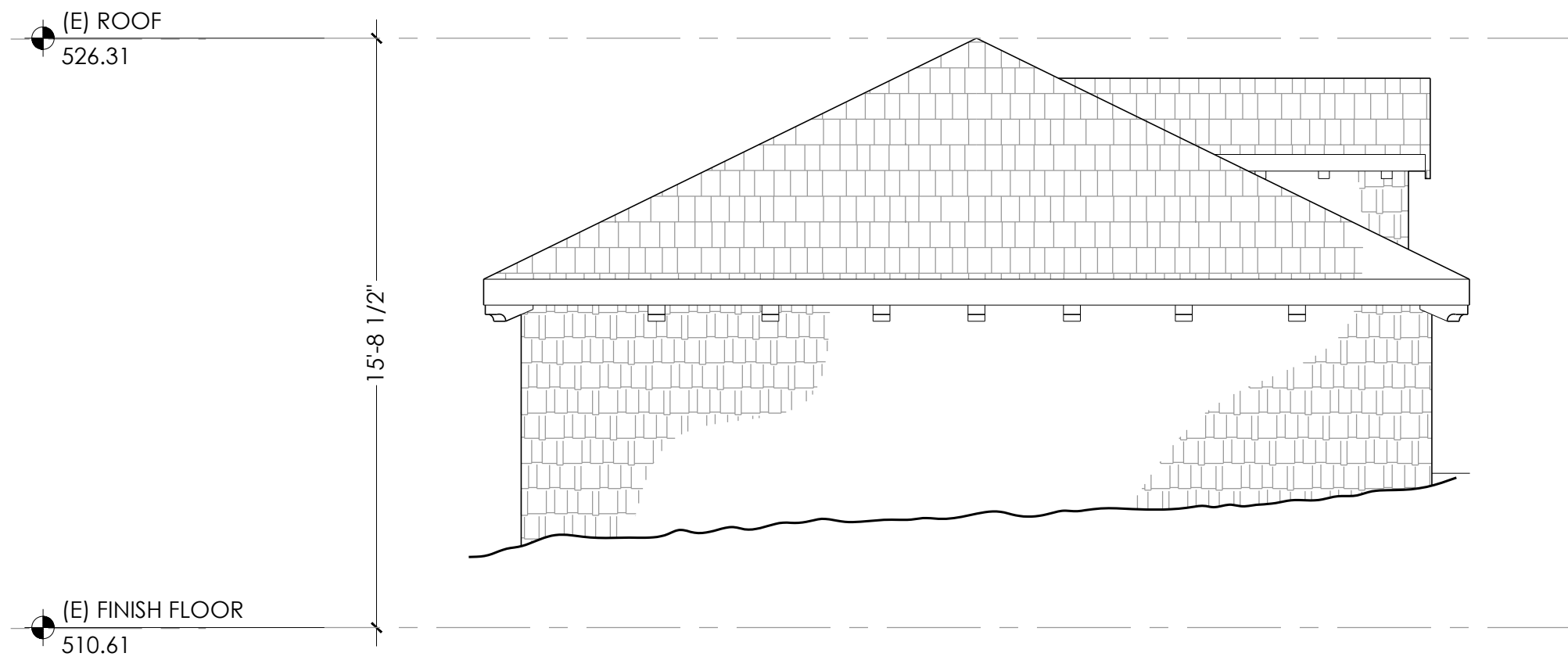
1. ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH U.O.N.
2. SEE MATERIALS BOARD ON A0.6 FOR PROPOSED MATERIAL REFERENCE IMAGES.

LEGEND:

- PROPERTY LINE
- REQ'D SETBACK
- CONCRETE
- STUCCO
- EXISTING SHAKE SIDING
- NEW SHINGLE SIDING
- STONE CLADDING
- SLATE ROOF TILES



1 CARRIAGE HOUSE ELEVATION: NORTH (NO CHANGE)
1/4" = 1'-0"



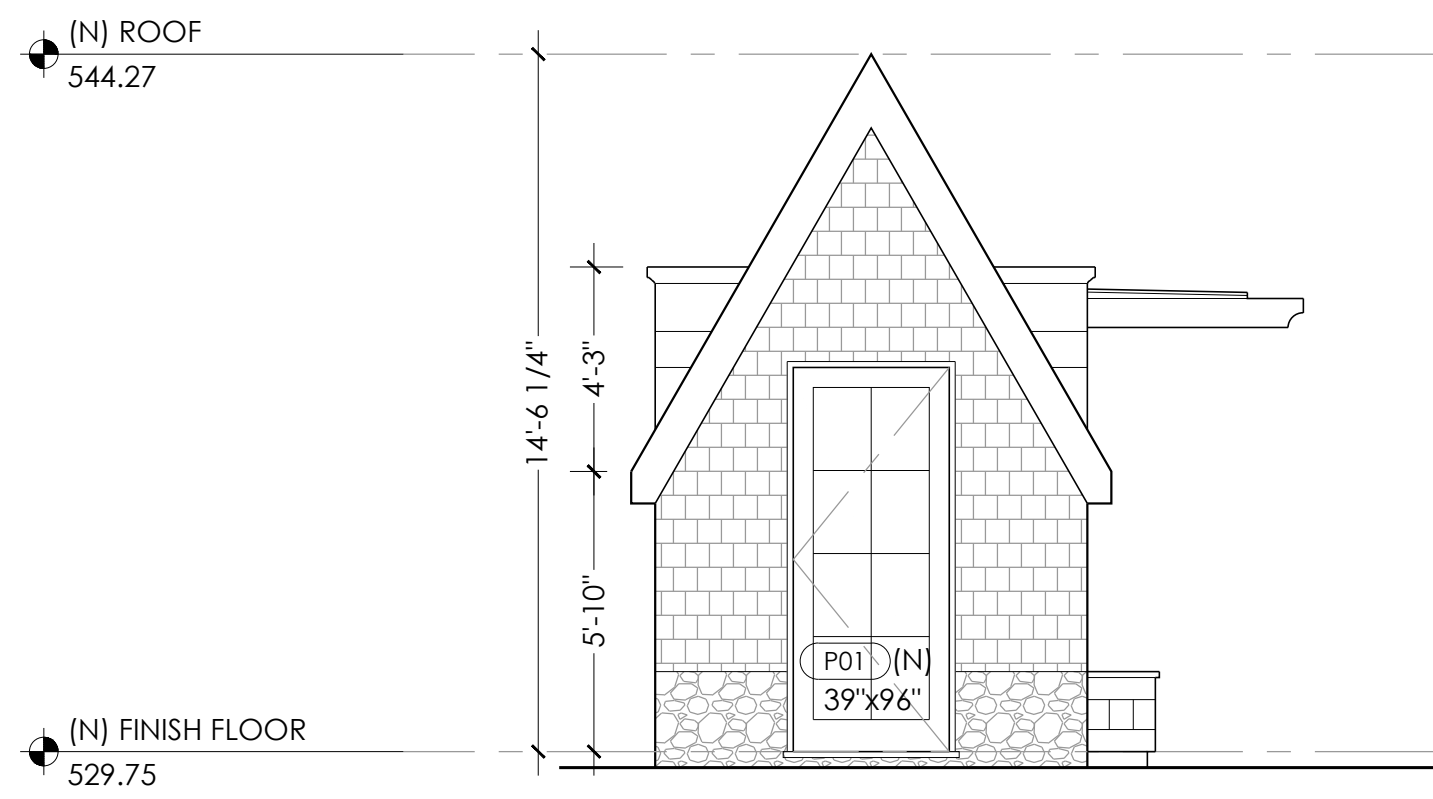
2 CARRIAGE HOUSE ELEVATION: WEST (NO CHANGE)
1/4" = 1'-0"



3 CARRIAGE HOUSE ELEVATION: SOUTH (NO CHANGE)
1/4" = 1'-0"



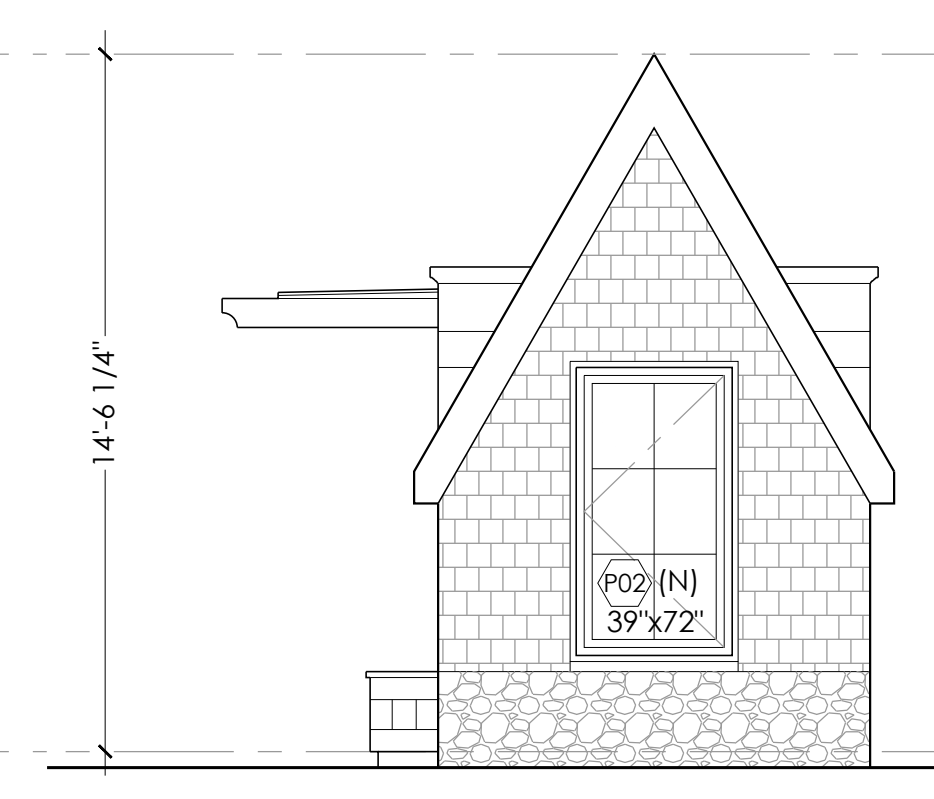
4 CARRIAGE HOUSE ELEVATION: EAST (NO CHANGE)
1/4" = 1'-0"



5 PROPOSED POOL HOUSE ELEV: NORTH
1/4" = 1'-0"



6 PROP. POOL HOUSE ELEVATION: WEST
1/4" = 1'-0"

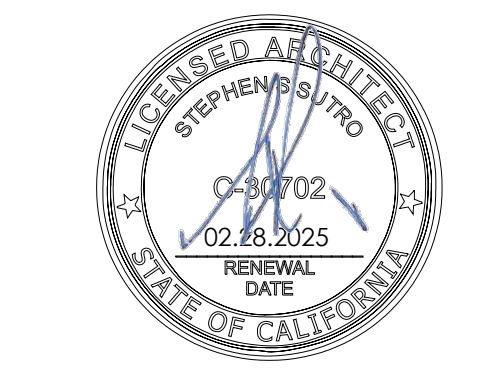


7 PROPOSED POOL HOUSE ELEVATION: SOUTH
1/4" = 1'-0"



8 PROPOSED POOL HOUSE ELEVATION: EAST
1/4" = 1'-0"

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PROPOSED ELEVATIONS:
CARRIAGE HOUSE & POOL HOUSE

1/4" = 1'-0"

A5.10

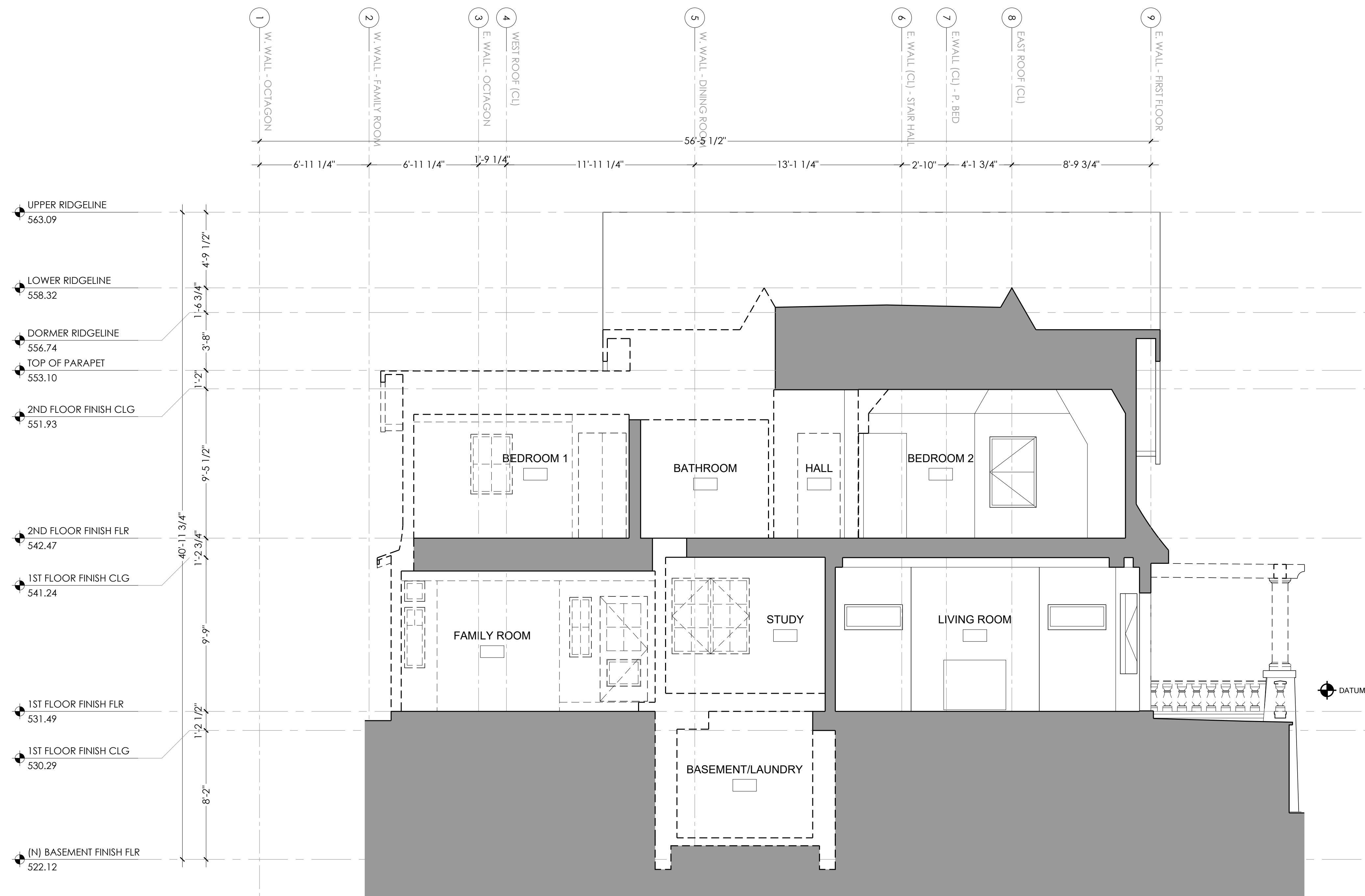
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1 EXISTING/DEMO LONGITUDINAL SECTION
1/4" = 1'-0"

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EXISTING BUILDING
SECTION:
LONGITUDINAL

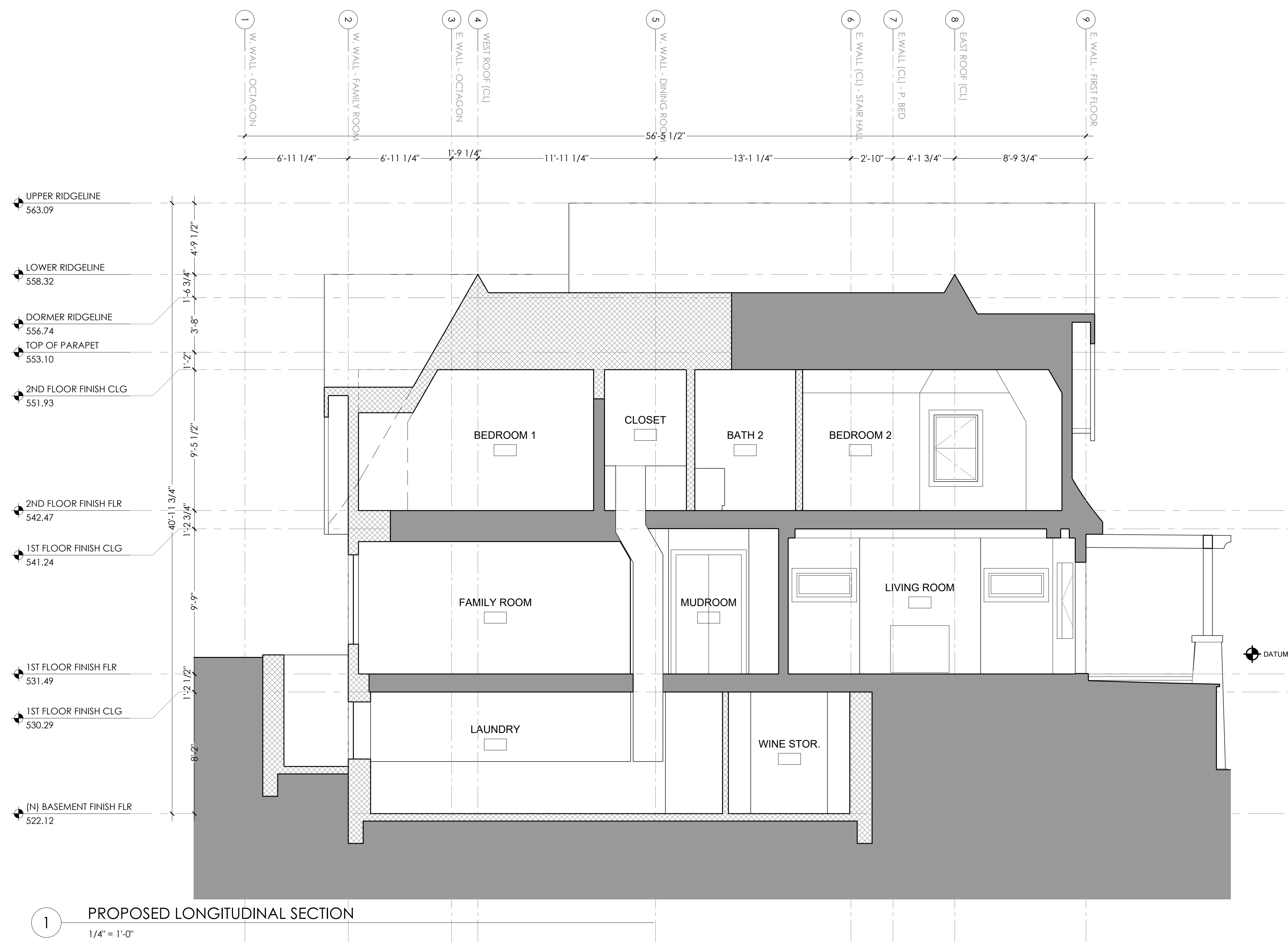
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A6.0

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PROPOSED BUILDING
 SECTION:
 LONGITUDINAL

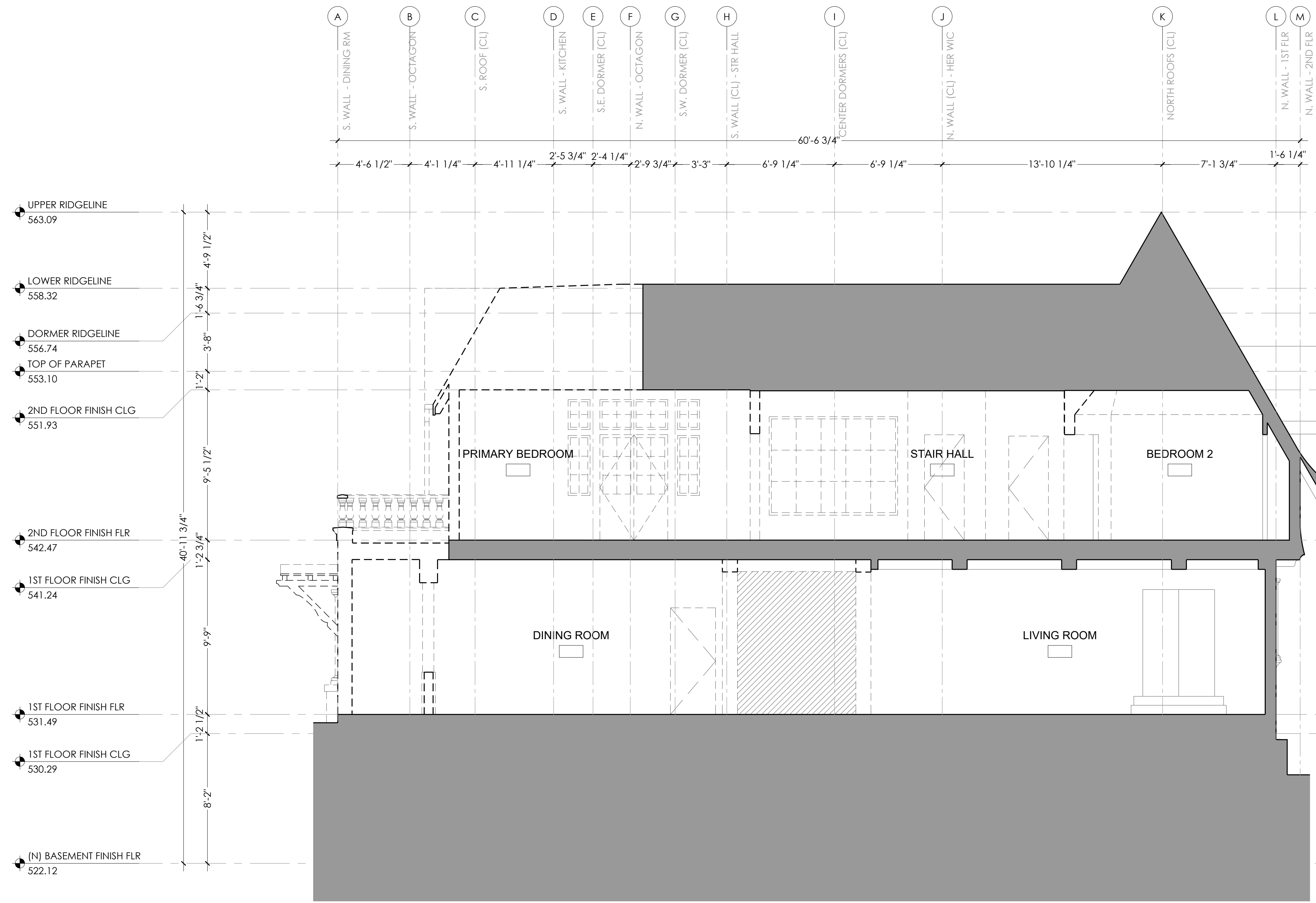
1/4" = 1'-0"

A6.1

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1 EXISTING/DEMO CROSS SECTION
1/4" = 1'-0"

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EXISTING BUILDING
SECTION:
CROSS

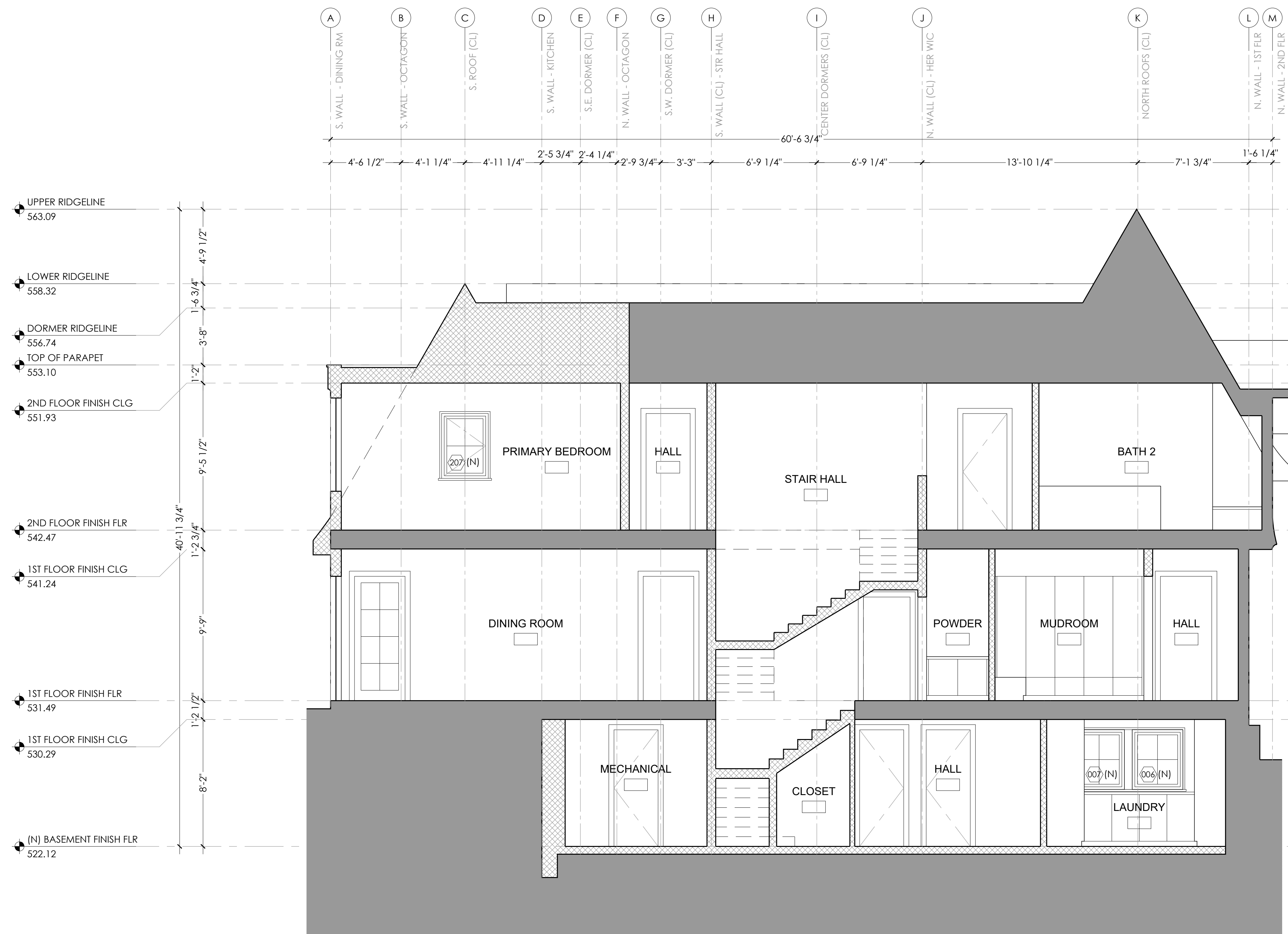
1/4" = 1'-0"

A6.2

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1 PROPOSED CROSS SECTION
1/4" = 1'-0"

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PROPOSED BUILDING
SECTION:
CROSS

1/4" = 1'-0"

A6.3

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GENERAL WINDOW SCHEDULE NOTES:

- DIMENSIONS.** ALL DOOR DIMENSIONS PROVIDED ARE MEASURED TO THE FINISHED OPENING (NOT ROUGH OPENING).
- SHOP DRAWINGS.** GC TO PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION. ALL DOOR & WINDOW SIZES LISTED IN SCHEDULES ARE FINISHED LEAF SIZES (NOT ROUGH OPENING). CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING.
- GLAZING.** ALL GLAZING TO BE LOW-E, INSULATED, TEMPERED GLASS, U.O.N.
- WEATHERSTRIPPING & SPACERS.** ALL SPACERS AND WEATHER STRIPPING TO MATCH DOOR / WINDOW PAINT COLOR. VERIFY FINAL SPEC W/ ARCHITECT PRIOR TO FABRICATION.
- SECURITY.** REVIEW ALL WINDOWS TO BE EQUIPPED WITH SECURITY CONTACTS. GC TO COORDINATE INSTALL WITH OWNER'S SECURITY SYSTEM CONSULTANT.

GENERAL WINDOW HARDWARE NOTES:

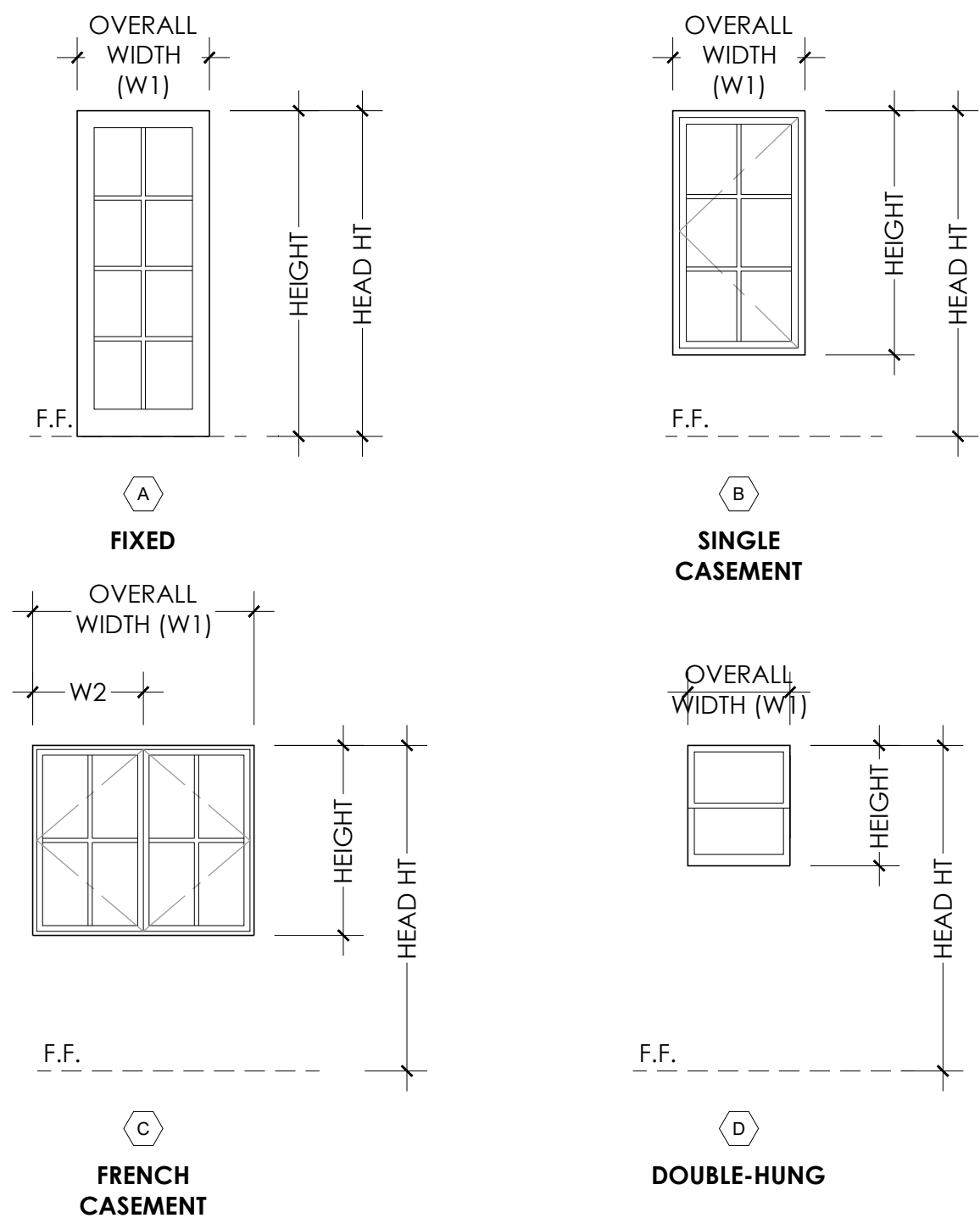
- HARDWARE.** ALL NEW WINDOW HARDWARE TO BE PROVIDED BY WINDOW MANUFACTURER. PROVIDE CUT SHEETS AND/OR SAMPLE TO BE APPROVED BY ARCHITECT.
- RESTRICTORS.** PROVIDE WITCO (OR APPROVED EQ.) CONCEALED CASEMENT RESTRICTOR AT ALL CASEMENTS. FOR EGRESS WINDOW, PROVIDE RELEASE MECHANISM.

SAFETY GLAZING NOTES:

TEMPERED OR SAFETY GLAZING IS REQUIRED IN THE FOLLOWING LOCATIONS PER SECTION 2406.4:

- GLAZING IN INGRESS AND EGRESS DOORS EXCEPT JALOUSIES.
- GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOORS OTHER THAN WARDROBE DOORS.
- GLAZING IN STORM DOORS
- GLAZING IN ALL UNFRAMED SWINGING DOORS (I.E. SHOWER DOORS)
- GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATH TUBS, AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE
- GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
- GLAZING IN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ. FT.
 - EXPOSED BOTTOM EDGE LESS THAN 18 INCHES
 - EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR
 - ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING.
- GLAZING ADJACENT TO DOORS PER SECTION 2406.4.2.
- GLAZING IN WINDOWS PER SECTION 2406.4.3.
- GLAZING IN GUARDS AND RAILINGS PER SECTION 2406.4.4.
- GLAZING AND WET SURFACES PER SECTION 2406.4.5.
- GLAZING ADJACENT TO STAIRS AND RAMPS PER 2406.4.6.
- GLAZING ADJACENT TO BOTTOM OF STAIR LANDING PER 2406.4.7.

WINDOW TYPE ELEVATIONS:



WINDOW SCHEDULE:

ALL DOOR & WINDOW SIZES LISTED ARE FINISHED LEAF SIZES, NOT ROUGH OPENINGS.

WINDOW NO.	TYPE	MANUFACTURER	DESCRIPTION	LOCATION	WINDOW SIZE (FINISHED INTERIOR JAMB TO JAMB)			HEAD HT	MATERIAL	FINISH	GLAZING	BUG SCREEN	SHADES	HARDWARE	U-FACTOR	SHGC	REMARKS
					OVERALL WIDTH (W1)	LEAF WIDTH (W2)	HEIGHT										
BASEMENT																	
001	B	TBD	CASEMENT	GYM 003	3'-3"	-	3'-6"	7'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
002	B	TBD	CASEMENT	GYM 003	3'-3"	-	3'-6"	7'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
003	B	TBD	CASEMENT	GYM 003	3'-3"	-	3'-6"	7'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
004	B	TBD	CASEMENT	GYM 003	3'-3"	-	3'-6"	7'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
005	B	TBD	CASEMENT	GYM 003	3'-3"	-	3'-6"	7'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
006	B	TBD	CASEMENT	LAUNDRY 008	3'-3"	-	3'-6"	7'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
007	B	TBD	CASEMENT	LAUNDRY 008	3'-3"	-	3'-6"	7'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
FIRST FLOOR																	
101	A	TBD	FIXED SIDE LITE	FOYER 100	2'-4"	-	8'-0"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
102	A	TBD	FIXED SIDE LITE	FOYER 100	2'-4"	-	8'-0"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
103	B	TBD	CASEMENT	LIBRARY 103	3'-3"	-	6'-0"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
104	B	TBD	CASEMENT	LIBRARY 103	3'-3"	-	6'-0"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
105	B	TBD	CASEMENT	LIBRARY 103	3'-3"	-	6'-0"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
106	B	TBD	CASEMENT	LIBRARY 103	3'-3"	-	6'-0"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
107	B	TBD	CASEMENT	LIBRARY 103	3'-3"	-	6'-0"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
108	A	TBD	FIXED SIDE LITE	DINING ROOM 104	3'-3"	-	8'-0"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
109	A	TBD	FIXED SIDE LITE	DINING ROOM 104	3'-3"	-	8'-0"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
110	A	TBD	FIXED	DINING ROOM 104	4'-6"	-	8'-0"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
111	A	TBD	FIXED SIDE LITE	KITCHEN 105	3'-3"	-	8'-0"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
112	B	TBD	CASEMENT	FAMILY DINING 106	4'-2"	-	7'-9"	9'-9"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
113	B	TBD	CASEMENT	FAMILY DINING 106	4'-2"	-	7'-9"	9'-9"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
114	B	TBD	CASEMENT	FAMILY DINING 106	4'-2"	-	7'-9"	9'-9"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
115	B	TBD	CASEMENT	FAMILY DINING 106	4'-2"	-	7'-9"	9'-9"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
116	B	TBD	CASEMENT	FAMILY DINING 106	4'-2"	-	7'-9"	9'-9"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
117	B	TBD	CASEMENT	FAMILY DINING 106	4'-2"	-	7'-9"	9'-9"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
118	B	TBD	CASEMENT	KITCHEN 105	3'-0"	-	4'-2"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
119	B	TBD	CASEMENT	KITCHEN 105	3'-0"	-	4'-2"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
120	B	TBD	CASEMENT	FAMILY ROOM 108	3'-3"	-	6'-0"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
121	B	TBD	CASEMENT	FAMILY ROOM 108	3'-3"	-	6'-0"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
122	B	TBD	CASEMENT	FAMILY ROOM 108	3'-3"	-	6'-0"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
123	B	TBD	CASEMENT	FAMILY ROOM 108	3'-3"	-	6'-0"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
124	B	TBD	CASEMENT	FAMILY ROOM 108	3'-3"	-	6'-0"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
125	B	TBD	CASEMENT	FAMILY ROOM 108	3'-3"	-	6'-0"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
126	A	TBD	FIXED SIDE LITE	HALL 109	2'-0"	-	8'-0"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
127	A	TBD	FIXED SIDE LITE	HALL 109	2'-0"	-	8'-0"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
128	B	TBD	CASEMENT	LIVING ROOM 111	3'-3"	-	6'-0"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
129	B	TBD	CASEMENT	LIVING ROOM 111	3'-3"	-	6'-0"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
130	A	TBD	FIXED	LIVING ROOM 111	2'-6"	-	8'-0"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
131	A	TBD	FIXED	LIVING ROOM 111	2'-6"	-	8'-0"	8'-0"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
SECOND FLOOR																	
201	C	-	FRENCH CASEMENT	BEDROOM 201	5'-5"	2'-8 1/2"	4'-8"	6'-8"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	EXISTING WINDOW TO REMAIN
202	C	-	FRENCH CASEMENT	HIS W.I.C. 205	5'-5"	2'-8 1/2"	4'-8"	6'-8"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	EXISTING WINDOW TO REMAIN
203	B	TBD	CASEMENT	HIS BATH 206	3'-0"	-	4'-2"	7'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
204	B	TBD	CASEMENT	PRIMARY BEDROOM 207	3'-3"	-	6'-0"	7'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
205	B	TBD	CASEMENT	PRIMARY BEDROOM 207	3'-3"	-	6'-0"	7'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
206	B	TBD	CASEMENT	PRIMARY BEDROOM 207	3'-3"	-	6'-0"	7'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
207	B	TBD	CASEMENT	PRIMARY BEDROOM 207	3'-0"	-	4'-2"	7'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
208	B	TBD	CASEMENT	HER VESTIBULE 208	3'-0"	-	4'-2"	7'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
209	B	TBD	CASEMENT	HER BATH 209	3'-0"	-	4'-2"	7'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
210	C	TBD	FRENCH CASEMENT	HER W.I.C. 209	5'-5"	2'-8 1/2"	4'-8"	7'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
211	C	TBD	FRENCH CASEMENT	HER W.I.C. 210	5'-5"	2'-8 1/2"	4'-8"	7'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
212	C	TBD	FRENCH CASEMENT	BEDROOM 211	5'-5"	2'-8 1/2"	4'-8"	7'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
213	B	-	CASEMENT	BATH 214	2'-10"	-	4'-0"	6'-9"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	EXISTING WINDOW TO REMAIN
214	B	-	CASEMENT	BEDROOM 215	3'-2"	-	4'-8"	6'-8"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	EXISTING WINDOW TO REMAIN
215	B	-	CASEMENT	BEDROOM 215	3'-2"	-	4'-8"	6'-8"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	EXISTING WINDOW TO REMAIN
216	B	-	CASEMENT	BEDROOM 215	3'-2"	-	4'-8"	6'-8"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	EXISTING WINDOW TO REMAIN
TEA HOUSE																	
101	A	-	FIXED	OFFICE 101	2'-4"	-	1'-1"	3'-10"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	EXISTING WINDOW TO REMAIN
102	-	-	SINGLE SLIDER	BATH 102	6'-3"	-	3'-6"	6'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	MOVE OR REPLACE EXISTING WINDOW AS REQUIRED
103	-	-	SINGLE SLIDER	BATH 102	3'-4"	-	3'-6"	6'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	MOVE OR REPLACE EXISTING WINDOW AS REQUIRED
104	A	TBD	FIXED	OFFICE 101	5'-4"	-	5'-3"	6'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	NEW WINDOW
GUEST HOUSE																	
G01	C	-	FRENCH CASEMENT	MAIN ROOM G01	3'-2"	1'-7"	4'-6"	7'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	EXISTING WINDOW TO REMAIN
G02	C	-	FRENCH CASEMENT	MAIN ROOM G01	3'-2"	1'-7"	4'-6"	7'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	EXISTING WINDOW TO REMAIN
G03	C	-	FRENCH CASEMENT	MAIN ROOM G01	3'-2"	1'-7"	4'-6"	7'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	EXISTING WINDOW TO REMAIN
G04	C	-	FRENCH CASEMENT	MAIN ROOM G01	3'-2"	1'-7"	4'-6"	7'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	EXISTING WINDOW TO REMAIN
G05	D	TBD	DOUBLE HUNG	BATH G02	2'-6"	-	3'-0"	6'-8"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	MOVE OR REPLACE EXISTING WINDOW AS REQUIRED
G06	B	-	CASEMENT	MAIN ROOM G01	2'-3"	-	3'-2"	7'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	EXISTING WINDOW TO REMAIN
CARRIAGE HOUSE																	
C01	C	-	FRENCH CASEMENT	CARRIAGE HOUSE C01	3'-8"	1'-10"	3'-4"	6'-6"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	EXISTING WINDOW TO REMAIN
C02	A	-	FIXED	CARRIAGE HOUSE C01	1'-10"	-	2'-2"	12'-7"	WOOD	PAINTED	CLEAR TEMPERED	YES	-	BY MFR	-	-	EXISTING WINDOW TO REMAIN
C03	A	-	FIXED	CARRIAGE HOUSE C01	1'-10"	-	2'-2"	12'-7"	WOOD	PAINTED	CLEAR TEMPERED	YES	-				

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

GENERAL DOOR SCHEDULE NOTES:

- DIMENSIONS.** ALL DOOR DIMENSIONS PROVIDED ARE MEASURED TO THE FINISHED OPENING (NOT ROUGH OPENING).
- SHOP DRAWINGS.** GC TO PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION. ALL DOOR & WINDOW SIZES LISTED IN SCHEDULES ARE FINISHED LEAF SIZES (NOT ROUGH OPENING). CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING.
- EXTERIOR DOORS.** ALL EXTERIOR DOORS TO BE 2 1/4" THICK SOLID WOOD & GLAZED UNITS, TYP. ALL GLAZING IN EXTERIOR DOORS TO BE DOUBLE-PANE LOW-E, INSULATED, TEMPERED GLASS TO MEET TITLE 24 REQUIREMENTS.
- INTERIOR DOORS.** ALL INTERIOR DOORS TO BE 1 3/4" SOLID CORE WD. DOORS, TYP., U.O.N.
- SWING DOORS.** ALL DOORS TO OPEN MINIMUM OF 120 DEGREES.
- DOOR STOPS.** INSTALL FLOOR STOPS, OR PREFERABLY WALL STOPS WHERE EVER DOORS MAY STRIKE WALLS. VERIFY DOOR STOP SPECIFICATIONS AND FINAL LOCATIONS W/ ARCHITECT IN FIELD PRIOR TO INSTALLATION.
- POCKET DOORS.** FOR ALL POCKET DOORS, PROVIDE ADDITIONAL MATERIAL WIDTH AT NON-LEADING EDGE AND HEIGHT AS NEEDED FOR HARDWARE TO BE FULLY RECESSED. WIDTH DIMENSION CALLED OUT IS FROM JAMB TO JAMB, NOT ACTUAL LEAF SIZE.
- WEATHERSTRIPPING & SPACERS.** ALL SPACERS AND WEATHER STRIPPING TO MATCH DOOR / WINDOW PAINT COLOR. VERIFY FINAL SPEC W/ ARCHITECT PRIOR TO FABRICATION.
- SECURITY.** ALL EXTERIOR DOORS TO BE EQUIPPED WITH SECURITY CONTACTS. GC TO COORDINATE INSTALL WITH OWNER'S SECURITY SYSTEM CONSULTANT.
- GARAGE DOOR.** DOOR FROM ATTACHED GARAGE INTO HOUSE TO BE 36" WIDE 20 MIN. RATED DOOR ON SELF CLOSING HINGE.
- SHOWER DOORS.** FOR ALL SHOWER DOORS AND ENCLOSURES, PROVIDE STARPHIRE GLASS W/ DIAMOND FUSION COATING.

GENERAL DOOR HARDWARE NOTES:

- DOOR HARDWARE.** HARDWARE SPECIFICATIONS T.B.D BY OWNER & ARCHITECT. PROVIDE SUBMITTAL FOR REVIEW PRIOR TO ORDERING.
- MACHINING.** ALL DOORS TO BE MACHINED FOR HARDWARE (SUPPLIED BY OTHERS) AND DELIVERED PRE-HUNG WHERE APPLICABLE.

SAFETY GLAZING NOTES:

TEMPERED OR SAFETY GLAZING IS REQUIRED IN THE FOLLOWING LOCATIONS PER SECTION 2406.4:

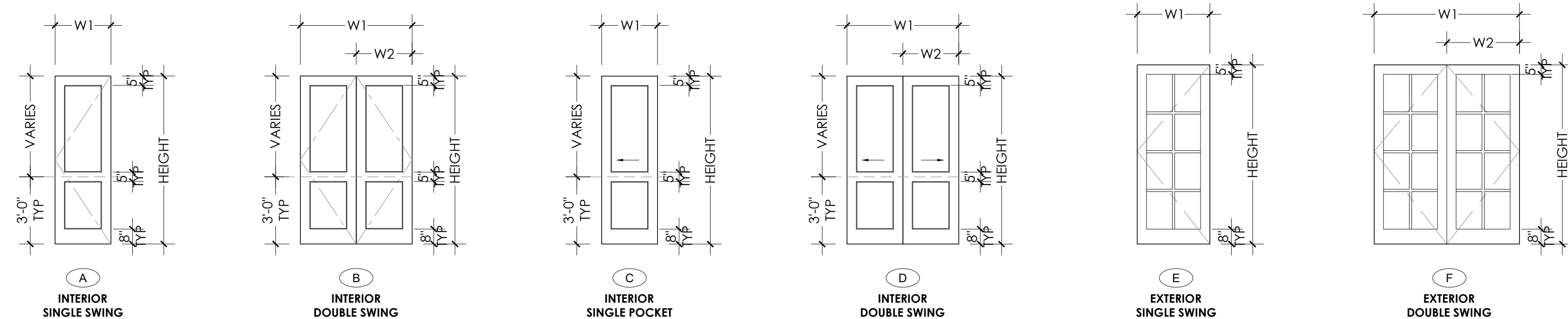
- GLAZING IN INGRESS AND EGRESS DOORS EXCEPT JALOUSIES.
- GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOORS OTHER THAN WARDROBE DOORS.
- GLAZING IN STORM DOORS
- GLAZING IN ALL UNFRAMED SWINGING DOORS (I.E. SHOWER DOORS)
- GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATH TUBS, AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE
- GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
- GLAZING IN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ. FT.
 - EXPOSED BOTTOM EDGE LESS THAN 18 INCHES
 - EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR
 - ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING.
- GLAZING ADJACENT TO DOORS PER SECTION 2406.4.2.
- GLAZING IN WINDOWS PER SECTION 2406.4.3.
- GLAZING IN GUARDS AND RAILINGS PER SECTION 2406.4.4.
- GLAZING AND WET SURFACES PER SECTION 2406.4.5.
- GLAZING ADJACENT TO STAIRS AND RAMP PER 2406.4.6.
- GLAZING ADJACENT TO BOTTOM OF STAIR LANDING PER 2406.4.7.

DOOR SCHEDULE:

ALL DOOR & WINDOW SIZES LISTED ARE FINISHED LEAF SIZES, NOT ROUGH OPENINGS.

NO.	TYPE	GRADE	LOCATION	MFR	DESCRIPTION	SIZE				MATERIAL	FINISH	HEAD HEIGHT	HARDWARE	SHADES / SCREEN	U-FACTOR	SHGC	REMARKS
						OVERALL WIDTH (W1)	LEAF WIDTH (W2)	HEIGHT	THICKNESS								
MAIN HOUSE BASEMENT																	
001	A	INT	HALL 001	TBD	SWING	2'-6"	-	7'-6"	1-3/4"	TBD	TBD	7'-6"	PASSAGE	-	-	-	-
002	A	INT	GYM 003	TBD	SWING	2'-10"	-	7'-6"	1-3/4"	TBD	TBD	7'-6"	PASSAGE	-	-	-	-
003	A	INT	MECHANICAL 004	TBD	SWING	2'-10"	-	7'-6"	1-3/4"	TBD	TBD	7'-6"	PASSAGE	-	-	-	-
004	A	INT	MECHANICAL 004	TBD	SWING	2'-10"	-	7'-6"	1-3/4"	TBD	TBD	7'-6"	PASSAGE	-	-	-	-
005	A	INT	STORAGE 006	TBD	SWING	2'-10"	-	7'-6"	1-3/4"	TBD	TBD	7'-6"	PASSAGE	-	-	-	-
006	A	INT	BATH 007	TBD	SWING	2'-10"	-	7'-6"	1-3/4"	TBD	TBD	7'-6"	PASSAGE	-	-	-	-
007	A	INT	LAUNDRY 008	TBD	SWING	2'-10"	-	7'-6"	1-3/4"	TBD	TBD	7'-6"	PASSAGE	-	-	-	-
008	A	INT	WINE STORAGE 009	TBD	SWING	2'-10"	-	7'-6"	1-3/4"	TBD	TBD	7'-6"	PASSAGE	-	-	-	-
MAIN HOUSE FIRST FLOOR																	
101	F	EXT	FOYER 100	TBD	FRENCH DOORS	4'-0"	-	8'-0"	2 1/4"	TBD	TBD	8'-0"	BY MANUFACTURER	-	-	-	-
102	F	EXT	LIBRARY 103	TBD	FRENCH DOORS	6'-6"	3'-3"	8'-0"	2 1/4"	TBD	TBD	8'-0"	BY MANUFACTURER	-	-	-	-
103	F	EXT	DINING ROOM 104	TBD	FRENCH DOORS	6'-6"	3'-3"	8'-0"	2 1/4"	TBD	TBD	8'-0"	BY MANUFACTURER	-	-	-	-
104	F	EXT	KITCHEN 105	TBD	FRENCH DOORS	6'-6"	3'-3"	8'-0"	2 1/4"	TBD	TBD	8'-0"	BY MANUFACTURER	-	-	-	-
105	E	EXT	HALL 109	TBD	SWING	3'-0"	-	8'-0"	2 1/4"	TBD	TBD	8'-0"	BY MANUFACTURER	-	-	-	-
106	F	EXT	LIVING ROOM 111	TBD	FRENCH DOORS	6'-0"	3'-0"	8'-0"	2 1/4"	TBD	TBD	8'-0"	BY MANUFACTURER	-	-	-	-
110	B	INT	LIBRARY 103	TBD	PAIRED SWING	4'-0"	2'-0"	8'-0"	1 3/4"	TBD	TBD	8'-0"	PASSAGE	-	-	-	-
111	B	INT	LIBRARY 103	TBD	PAIRED SWING	4'-0"	2'-0"	8'-0"	1 3/4"	TBD	TBD	8'-0"	PASSAGE	-	-	-	-
112	C	INT	DINING ROOM 104	TBD	POCKET	4'-0"	-	8'-0"	1 3/4"	TBD	TBD	8'-0"	PASSAGE	-	-	-	-
113	C	INT	LIBRARY 104	TBD	POCKET	4'-6"	-	8'-0"	1 3/4"	TBD	TBD	8'-0"	PASSAGE	-	-	-	-
114	C	INT	KITCHEN 105	TBD	POCKET	3'-0"	-	6'-8"	1 3/4"	TBD	TBD	6'-8"	PASSAGE	-	-	-	-
115	A	INT	POWDER 107	TBD	SWING	2'-6"	-	6'-8"	1 3/4"	TBD	TBD	6'-8"	PRIVACY	-	-	-	-
116	C	INT	HALL 109	TBD	POCKET	3'-0"	-	8'-0"	1 3/4"	TBD	TBD	8'-0"	PASSAGE	-	-	-	-
117	D	INT	MUDROOM 110	TBD	PAIRED POCKET	4'-0"	2'-0"	8'-0"	1 3/4"	TBD	TBD	8'-0"	PASSAGE	-	-	-	-
118	C	INT	HALL 109	TBD	POCKET	3'-0"	-	8'-0"	1 3/4"	TBD	TBD	8'-0"	PASSAGE	-	-	-	-
119	D	INT	LIVING ROOM 111	TBD	PAIRED POCKET	8'-0"	4'-0"	8'-0"	1 3/4"	TBD	TBD	8'-0"	-	-	-	-	-
MAIN HOUSE SECOND FLOOR																	
201	A	INT	BEDROOM 201	TBD	SWING	2'-8"	-	7'-6"	1 3/4"	TBD	TBD	7'-6"	PRIVACY	-	-	-	-
202	B	INT	BEDROOM 201	TBD	PAIRED SWING	4'-0"	2'-0"	6'-8"	1 3/4"	TBD	TBD	6'-8"	PASSAGE	-	-	-	-
203	A	INT	STAIR HALL 200	TBD	SWING	1'-6"	-	7'-6"	1 3/4"	TBD	TBD	7'-6"	PASSAGE	-	-	-	-
204	A	INT	PRIMARY BED HALL 204	TBD	SWING	2'-10"	-	7'-6"	1 3/4"	TBD	TBD	7'-6"	PRIVACY	-	-	-	-
205	C	INT	HS W.I.C. 205	TBD	POCKET	2'-10"	-	7'-6"	1 3/4"	TBD	TBD	7'-6"	PASSAGE	-	-	-	-
206	C	INT	HS BATH 206	TBD	POCKET	2'-10"	-	7'-6"	1 3/4"	TBD	TBD	7'-6"	PRIVACY	-	-	-	-
207	D	INT	PRIMARY BEDROOM 207	TBD	PAIRED POCKET	5'-0"	2'-6"	7'-6"	1 3/4"	TBD	TBD	7'-6"	PRIVACY	-	-	-	-
208	C	INT	HER VESTIBULE 208	TBD	POCKET	2'-10"	-	7'-6"	1 3/4"	TBD	TBD	7'-6"	PASSAGE	-	-	-	-
209	C	INT	HER BATH 209	TBD	POCKET	2'-10"	-	7'-6"	1 3/4"	TBD	TBD	7'-6"	PRIVACY	-	-	-	-
210	C	INT	HER W.I.C. 210	TBD	POCKET	2'-10"	-	7'-6"	1 3/4"	TBD	TBD	7'-6"	PASSAGE	-	-	-	-
211	A	INT	BEDROOM 211	TBD	SWING	2'-10"	-	7'-6"	1 3/4"	TBD	TBD	7'-6"	PRIVACY	-	-	-	-
212	A	INT	BATH 212	TBD	SWING	2'-10"	-	7'-6"	1 3/4"	TBD	TBD	7'-6"	PRIVACY	-	-	-	-
213	B	INT	STAIR HALL 200	TBD	PAIRED SWING	5'-0"	2'-6"	7'-6"	1 3/4"	TBD	TBD	7'-6"	PASSAGE	-	-	-	-
214	A	INT	BATH 214	TBD	SWING	2'-10"	-	7'-6"	1 3/4"	TBD	TBD	7'-6"	PRIVACY	-	-	-	-
215	A	INT	BEDROOM 215	TBD	SWING	2'-6"	-	7'-6"	1 3/4"	TBD	TBD	7'-6"	PRIVACY	-	-	-	-
216	B	INT	BEDROOM 215	TBD	PAIRED SWING	4'-0"	2'-0"	7'-6"	1 3/4"	TBD	TBD	7'-6"	PASSAGE	-	-	-	-
TEA HOUSE																	
T01	-	EXT	OFFICE T01	-	SLIDING GLASS DOORS	9'-4"	2'-6"	6'-6"	-	-	-	6'-6"	-	-	-	-	EXISTING TO REMAIN
T02	-	EXT	OFFICE T01	-	SLIDING GLASS DOORS	9'-4"	2'-6"	6'-6"	-	-	-	6'-6"	-	-	-	-	EXISTING TO REMAIN
T10	C	INT	BATH T02	TBD	POCKET	2'-0"	-	6'-8"	1 3/4"	TBD	TBD	6'-8"	PRIVACY	-	-	-	-
GUEST HOUSE																	
G01	-	EXT	MAIN ROOM G01	-	SWING	2'-2"	-	6'-8"	-	-	TBD	6'-8"	-	-	-	-	EXISTING TO REMAIN
G02	-	EXT	MAIN ROOM G01	-	SWING	2'-2"	-	6'-8"	-	-	TBD	6'-8"	-	-	-	-	EXISTING TO REMAIN
G10	A	INT	MAIN ROOM G01	TBD	SWING	2'-6"	-	6'-8"	1 3/4"	TBD	TBD	6'-8"	PASSAGE	-	-	-	-
G11	A	INT	BATH G02	TBD	SWING	2'-10"	-	6'-8"	1 3/4"	TBD	TBD	6'-8"	PRIVACY	-	-	-	-
CARRIAGE HOUSE																	
C01	-	EXT	CARRIAGE HOUSE C01	-	PAIRED SWING	8'-5"	4'-2 1/2"	7'-6"	-	-	-	7'-6"	-	-	-	-	EXISTING TO REMAIN
C02	-	EXT	CARRIAGE HOUSE C01	-	PAIRED SWING	8'-5"	4'-2 1/2"	7'-6"	-	-	-	7'-6"	-	-	-	-	EXISTING TO REMAIN
C03	A	EXT	CARRIAGE HOUSE C01	-	SWING	3'-0"	-	6'-6"	-	-	-	6'-6"	-	-	-	-	EXISTING TO REMAIN
C10	A	INT	POWDER C03	TBD	SWING	2'-10"	-	6'-8"	1 3/4"	TBD	TBD	6'-8"	PRIVACY	-	-	-	-
POOL HOUSE																	
P01	E	EXT	CHANGING P01	TBD	SWING	3'-3"	-	8'-0"	2 1/4"	TBD	TBD	8'-0"	BY MANUFACTURER	-	-	-	-
P10	D	INT	BATH P02	TBD	PAIRED POCKET	3'-3"	1'-7 1/2"	8'-0"	1 3/4"	TBD	TBD	8'-0"	PRIVACY	-	-	-	-

DOOR TYPE ELEVATIONS:



SUTRO ARCHITECTS

ROSS RESIDENCE

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21 GLENWOOD AVE
ROSS, CA 94957
PARCEL 073-121-09 | PROJECT NO. 2024.028



ADR SUBMITTAL
11.22.2024

DOOR SCHEDULE

1/4" = 1'-0"

A8.1

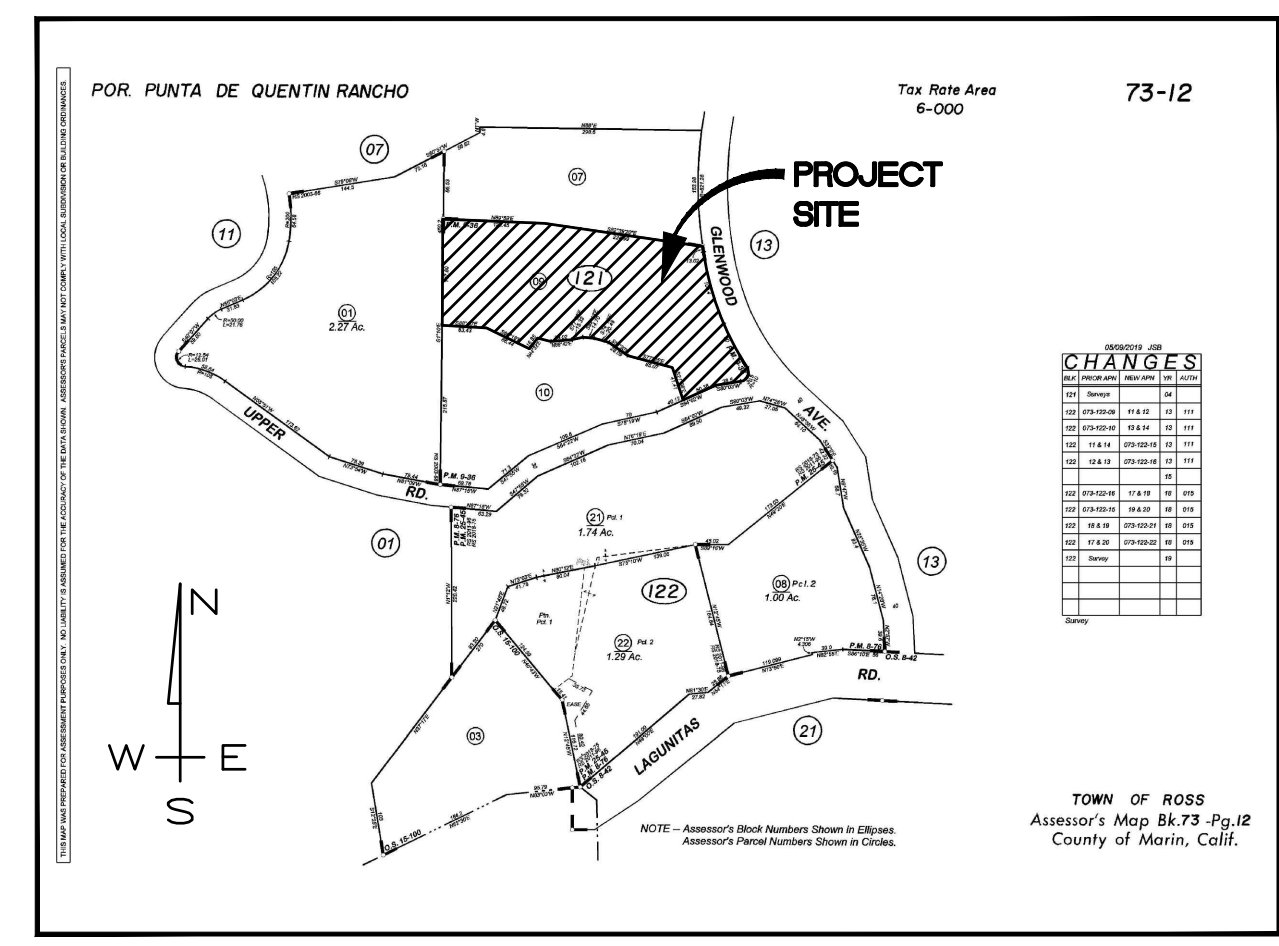
GRADING AND DRAINAGE NOTES

- PERFORM GRADING AND DRAINAGE IMPROVEMENTS IN ACCORDANCE WITH CURRENT EDITION OF THE CALIFORNIA BUILDING CODE (CBC), APPENDIX J AND APPLICABLE TOWN OF ROSS CODE AND REGULATIONS.
- ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD UPON DISCOVERING DISCREPANCIES, ERRORS, OR OMISSIONS IN THE PLANS. PRIOR TO PROCEEDING, THE OWNER SHALL HAVE THE PLANS REVISED TO CLARIFY IDENTIFIED DISCREPANCIES, ERRORS, OR OMISSIONS. THE APPROVED PLANS AND SPECIFICATIONS SHALL NOT BE CHANGED WITHOUT THE WRITTEN APPROVAL OF THE MARIN COUNTY BUILDING DEPARTMENT. PROPOSED MODIFICATIONS TO THE APPROVED PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE PERMIT AUTHORITY IN WRITING, TOGETHER WITH ALL NECESSARY TECHNICAL INFORMATION AND DESIGN DETAILS.
- THE GRADING/DRAINAGE PERMIT AND AN APPROVED COPY OF THE GRADING/DRAINAGE PLANS SHALL BE MAINTAINED ON THE PROJECT SITE THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
- TOWN OF ROSS BUILDING DEPARTMENT MAY ORDER THAT ANY WORK STOP IMMEDIATELY IF IT IS PERFORMED CONTRARY TO CBC APPENDIX J, CITY OF ROSS CODE AND REGULATIONS, THE APPROVED PLANS AND SPECIFICATIONS, PERMIT CONDITIONS, OR ANY WORK THAT HAS BECOME HAZARDOUS TO PROPERTY OR THE PUBLIC.
- ISSUANCE OF A GRADING/DRAINAGE PERMIT BY TOWN OF ROSS DOES NOT ELIMINATE THE RESPONSIBILITY OF THE OWNER TO SECURE PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK ON THESE PLANS. FAILURE TO OBTAIN ALL REQUIRED PERMITS MAY RESULT IN FINES FROM THE RESPECTIVE AGENCY.
- EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE AND LOCATED THROUGHOUT THIS SITE SHALL REMAIN OPEN AND CLEAR OF DEBRIS TO PROPERLY CONVEY STORM WATER. IF EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE ARE LOCATED IN CITY RIGHT-OF-WAY AND NEED MAINTENANCE, CONTACT TOWN OF ROSS DEPARTMENT OF PUBLIC WORKS AT (415) 453-1453 FOR FURTHER ASSISTANCE. IN ANY EVENT, THE OWNER AND/OR CONTRACTOR SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UNDERGROUND SERVICE ALERT (U.S.A.), TOLL FREE AT 1-800-642-2444, AT LEAST TWO WORKING DAYS BUT NOT MORE THAN 14 CALENDAR DAYS PRIOR TO EXCAVATION. THE CONTRACTOR SHALL UNCOVER RELEVANT UTILITIES TO VERIFY THEIR LOCATION AND ELEVATION. IF UNEXPECTED OR CONFLICTING UTILITIES ARE ENCOUNTERED DURING EXCAVATION, NOTIFY U.S.A., THE UTILITY OWNER, AND/OR THE ENGINEER OF RECORD IMMEDIATELY. UTILITIES INCLUDE BUT ARE NOT LIMITED TO WATER, SEWER, ELECTRICAL, GAS, TELEPHONE, AND CABLE/TV. IF PRACTICAL, THE EXCAVATOR SHALL DELINEATE WITH WHITE PAINT OR OTHER SUITABLE MARKINGS THE AREA TO BE EXCAVATED.
- IN THE EVENT CULTURAL RESOURCES (I.E., HISTORICAL, ARCHAEOLOGICAL, AND PALEONTOLOGICAL RESOURCES, AND HUMAN REMAINS) ARE DISCOVERED DURING GRADING OR OTHER CONSTRUCTION ACTIVITIES, WORK SHALL IMMEDIATELY BE HALTED WITHIN THE VICINITY OF THE FIND. THE NORTHWEST INFORMATION CENTER SHALL BE NOTIFIED AT (707) 664-0880. A QUALIFIED ARCHEOLOGIST SHALL BE CONSULTED FOR AN ON-SITE EVALUATION. ADDITIONAL MITIGATION MAY BE REQUIRED BY THE TOWN OF ROSS PER THE ARCHEOLOGIST'S RECOMMENDATIONS. IF HUMAN BURIALS OR HUMAN REMAINS ARE ENCOUNTERED, THE CONTRACTOR SHALL ALSO NOTIFY THE COUNTY CORONER AT (415) 459-6043.
- SHOULD GRADING OPERATIONS ENCOUNTER HAZARDOUS MATERIALS, OR WHAT APPEAR TO BE HAZARDOUS MATERIALS, STOP WORK IMMEDIATELY IN THE AFFECTED AREA AND CONTACT 911 OR THE APPROPRIATE AGENCY FOR FURTHER INSTRUCTION.
- RETAINING WALLS, UNLESS EXEMPTED, ARE NOT APPROVED UNDER A GRADING PERMIT. A SEPARATE BUILDING PERMIT IS REQUIRED.
- EQUIPMENT SHALL NOT CROSS OR DISTURB CHANNELS OF ACTIVELY FLOWING STREAMS WITHOUT TOWN OF ROSS APPROVED PERMIT AND BEST MANAGEMENT PRACTICES.
- GRADING AND DRAINAGE IMPROVEMENTS SHALL BE SET BACK FROM STREAMS, LAKES, PONDS, AND WETLANDS IN COMPLIANCE WITH CITY REQUIREMENTS. EXISTING VEGETATION SHALL BE RETAINED IN STREAM SETBACK AREAS TO FILTER SOIL AND OTHER POLLUTANTS CARRIED IN STORMWATER.
- EXCESS SOIL SHALL BE REMOVED FROM THE SITE UNLESS DEPICTED TO REMAIN ON SITE PER THE APPROVED PLAN. THE SITE RECEIVING SOIL MAY REQUIRE A GRADING PERMIT UNLESS EXEMPTED.
- CONTOURS, ELEVATIONS, AND SHAPES OF FINISHED SURFACES SHALL BE BLENDED WITH ADJACENT NATURAL TERRAIN TO ACHIEVE A CONSISTENT GRADE AND NATURAL APPEARANCE. THE TOP OF CUT SLOPES SHALL BE ROUNDED OFF TO BLEND WITH THE NATURAL TERRAIN. BORDERS OF CUT SLOPES AND FILLS SHALL BE ROUNDED OFF TO A MINIMUM RADIUS OF 5-FEET TO BLEND WITH THE NATURAL TERRAIN.
- FILL MATERIAL SHALL NOT INCLUDE ORGANIC, FROZEN, OR OTHER DELETERIOUS MATERIALS. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL GREATER THAN 6 INCHES IN ANY DIMENSION SHALL BE INCLUDED IN FILLS EXCEPT WHERE APPROVED BY THE SOILS ENGINEER. FILLS SHALL BE CONSTRUCTED IN LIFTS NOT EXCEEDING 8 INCHES IN DEPTH. COMPLETED FILLS SHALL BE STABLE, WELL-INTEGRATED, AND BONDED TO ADJACENT MATERIALS AND THE MATERIALS ON WHICH THEY REST. FILLS SHALL BE COMPETENT TO SUPPORT ANTICIPATED LOADS AND BE STABLE AT THE DESIGN SLOPES SHOWN ON THE APPROVED PLANS AND SPECIFICATIONS OR AS DIRECTED BY THE SOILS ENGINEER.
- GROUND SURFACES SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL, AND OTHER UNSUITABLE MATERIALS, AND SCARIFYING THE GROUND TO PROVIDE A BOND WITH THE FILL MATERIAL.
- FILL SHALL NOT BE PLACED ON NATURAL SLOPES STEEPER THAN 2H:1(S:0.5) OR AS DICTATED BY THE SOILS ENGINEER.
- FILLS INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DRY DENSITY, AS DETERMINED BY ASTM D 1557, MODIFIED PROCTOR. A HIGHER COMPACTION PERCENTAGE MAY BE REQUIRED BY THE SOILS ENGINEER.
- FILLS NOT INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED AS FOLLOWS: (1) FILL GREATER THAN 3 FEET IN DEPTH SHALL BE COMPACTED TO THE DENSITY SPECIFIED BY THE SOILS ENGINEER. (2) FILLS NO GREATER THAN 3 FEET IN DEPTH SHALL BE COMPACTED TO THE DENSITY NECESSARY FOR THE INTENDED USE OR AS DIRECTED BY THE SOILS ENGINEER.
- ANY DISCREPANCY DISCOVERED BY CONTRACTOR IN THESE PLANS OR ANY FIELD CONDITIONS DISCOVERED BY CONTRACTOR THAT MAY DELAY OR OBSTRUCT THE PROPER COMPLETION OF THE WORK PER THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE CIVIL ENGINEER AND OWNER IMMEDIATELY UPON DISCOVERY. NOTIFICATION SHALL BE IN WRITING.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

- PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH TOWN OF ROSS REGULATIONS, WHICH FOLLOWS BEST MANAGEMENT PRACTICES (BMPs) AS SPECIFIED IN THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA) MANUAL.
 - THE APPROVED PLANS SHALL CONFORM WITH TOWN OF ROSS EROSION CONTROL REQUIREMENTS.
 - THE OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED FROM THE CONSTRUCTION SITE YEAR ROUND. WORK SITES WITH INADEQUATE EROSION AND SEDIMENT CONTROL MAY BE SUBJECT TO A STOP WORK ORDER.
 - IF DISCREPANCIES OCCUR BETWEEN THESE NOTES, MATERIAL REFERENCED HEREIN OR MANUFACTURER'S RECOMMENDATIONS, THEN THE MOST PROTECTIVE SHALL APPLY.
- RAINY SEASON OPERATIONS**
- THE OWNER MUST IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION PREVENTION AND SEDIMENT CONTROL ON ALL DISTURBED AREAS DURING THE RAINY SEASON (OCTOBER 1 - APRIL 30). CONSTRUCTION GRADING AND DRAINAGE IMPROVEMENTS SHALL BE PERMITTED DURING THE RAINY SEASON ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE PERFORMED IN COMPLIANCE WITH MARIN COUNTY STANDARDS. STORM WATER BMPs REFERENCED OR DETAILED IN THE PERMIT AUTHORITY'S BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED AND FUNCTIONAL ON THE SITE AT ALL TIMES.
 - THE AREA OF ERODIBLE LAND EXPOSED AT ANY ONE TIME DURING THE WORK SHALL NOT EXCEED 1 ACRE OR 20% OF THE PERMITTED WORK AREA, WHICHEVER IS GREATER, AND THE TIME OF EXPOSURE SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE.
 - AGRICULTURAL GRADING AND DRAINAGE IMPROVEMENTS, AND INITIAL LAND PREPARATION WORK FOR VINEYARD AND OPENED PLANTING, SHALL BE PERMITTED DURING THE RAINY SEASON ONLY FROM APRIL 1 TO APRIL 15, AND ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE PERFORMED IN COMPLIANCE WITH MARIN COUNTY CODE AND REGULATIONS.
- YEAR ROUND REQUIREMENTS**
- DURING THE NON-RAINY SEASON, ON ANY DAY WHEN THE NATIONAL WEATHER SERVICE FORECAST IS A CHANCE OF RAIN OF 30% OR GREATER WITHIN THE NEXT 24 HOURS, STORM WATER BMPs REFERENCED OR DETAILED IN PRMD'S BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED, INSTALLED, AND FUNCTIONAL ON THE SITE TO PREVENT SOIL AND OTHER POLLUTANT DISCHARGES. AT ALL OTHER TIMES, BMPs SHOULD BE STORED ON SITE IN PREPARATION FOR INSTALLATION PRIOR TO RAIN EVENTS.
 - EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER BEFORE FORECASTED STORM EVENTS AND AFTER STORM EVENTS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT HAVE FAILED OR ARE NO LONGER EFFECTIVE SHALL BE PROMPTLY REPLACED. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
 - THE LIMITS OF GRADING SHALL BE DEFINED AND MARKED ON SITE TO PREVENT DAMAGE TO SURROUNDING VEGETATION. PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE. ANY EXISTING VEGETATION WITHIN THE LIMITS OF GRADING THAT IS TO REMAIN UNDISTURBED BY THE WORK SHALL BE IDENTIFIED AND PROTECTED FROM DAMAGE BY MARKING, FENCING, OR OTHER MEASURES.
 - CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN MAY BE MADE TO RESPOND TO FIELD CONDITIONS AND SHALL BE NOTED ON THE PLAN.
 - DISCHARGES OF POTENTIAL POLLUTANTS FROM CONSTRUCTION SITES SHALL BE PREVENTED USING SOURCE CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SEDIMENT, TRASH, NUTRIENTS, PATHOGENS, PETROL HYDROCARBONS, METALS, CONCRETE, CEMENT, ASPHALT, LIME, PAINT, STAINS, GLUES, WOOD PRODUCTS, PESTICIDES, HERBICIDES, CHEMICALS, HAZARDOUS WASTE, SANITARY WASTE, VEHICLE OR EQUIPMENT WASH WATER, AND CHLORINATED WATER.
 - ENTRANCE(S) TO THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF POTENTIAL POLLUTANTS OFFSITE. POTENTIAL POLLUTANTS DEPOSITED ON PAVED AREAS WITHIN THE COUNTY RIGHT-OF-WAY, SUCH AS ROADWAYS AND SIDEWALKS, SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH WORKING DAY OR MORE FREQUENTLY AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING CONSTRUCTION VEHICLES LEAVING THE SITE ON A DAILY BASIS TO PREVENT DUST, SILT, AND DIRT FROM BEING RELEASED OR TRACKED OFFSITE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AT THE END OF EACH WORKING DAY OR MORE OFTEN AS NECESSARY.
 - ALL DISTURBED AREAS SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES TO THE MAXIMUM EXTENT PRACTICABLE, SUCH AS ESTABLISHING COVERAGE, HYDROSEEDING, STRAW MULCH, GEOTEXTILES, PLASTIC COVERS, BLANKETS OR MATS. TEMPORARY OR PERMANENT REVEGETATION SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER VEGETATION REMOVAL BUT IN ALL CASES PRIOR TO OCTOBER 15. PRIOR TO FINAL INSPECTION, ALL DISTURBED AREAS SHALL BE REVEGETATED OR LANDSCAPING SHALL BE INSTALLED.
 - WHENEVER IT IS NOT POSSIBLE TO USE EROSION PREVENTION MEASURES ON EXPOSED SLOPES, SEDIMENT CONTROL DEVICES SUCH AS FIBER ROLLS AND SILT FENCES SHALL BE INSTALLED TO PREVENT SEDIMENT MIGRATION. FIBER ROLLS AND SILT FENCES SHALL BE TRENCHED AND KEVED INTO THE SOIL AND INSTALLED ON CONTOUR. SILT FENCES SHALL BE INSTALLED APPROXIMATELY 2 TO 3 FEET FROM TOE OF SLOPE.
 - HYDROSEEDING SHALL BE CONDUCTED IN A THREE STEP PROCESS. FIRST, EVENLY APPLY SEED MIX AND FERTILIZER TO THE EXPOSED SLOPE. SECOND, EVENLY APPLY MULCH OVER THE SEED AND FERTILIZER. THIRD, STABILIZE THE MULCH IN PLACE. AN EQUIVALENT SINGLE STEP PROCESS, WITH SEED, FERTILIZER, WATER, AND BONDED FIBERS IS ACCEPTABLE.
- APPLICATIONS SHALL BE BROADCAST MECHANICALLY OR MANUALLY AT THE RATES SPECIFIED BELOW. SEED MIX AND FERTILIZER SHALL BE WORKED INTO THE SOIL BY ROLLING OR TAMPING. IF STRAW IS USED AS MULCH, STRAW SHALL BE DERIVED FROM WHEAT, RICE, OR BARLEY AND BE APPROXIMATELY 1/2 TO 3/4 INCHES IN LENGTH. STABILIZATION OF MULCH SHALL BE DONE HYDRAULICALLY BY APPLYING AN EMULSION OR MECHANICALLY BY CRIMPING OR PUNCHING THE MULCH INTO THE SOIL. EQUIVALENT METHODS AND MATERIALS MAY BE USED ONLY IF THEY ADEQUATELY PROMOTE VEGETATION GROWTH AND PROTECT EXPOSED SLOPES.
- | MATERIALS | APPLICATION RATE (POUNDS PER ACRE) |
|---|------------------------------------|
| SEED MIX | |
| <i>Bromus mollis</i> (BLANDO BROME) | 40 |
| <i>Trifolium hirtum</i> (HYKON ROSE CLOVER) | 20 |
| FERTILIZER | |
| 16-20-0 & 15% SULPHUR | 500 |
| MULCH | |
| STRAW | 4000 |
| HYDRAULIC STABILIZING | |
| M-BINDER OR SENTINEL | 75-100 |
| EQUIVALENT MATERIAL | PER MANUFACTURER |
- *NON-ASPHALTIC, DERIVED FROM PLANTS
- DUST CONTROL SHALL BE PROVIDED BY CONTRACTOR DURING ALL PHASES OF CONSTRUCTION.
 - STORM DRAIN INLETS SHALL BE PROTECTED FROM POTENTIAL POLLUTANTS UNTIL DRAINAGE CONVEYANCE SYSTEMS ARE FUNCTIONAL AND CONSTRUCTION HAS BEEN COMPLETED.
 - ENERGY DISSIPATORS SHALL BE INSTALLED AT STORM DRAIN OUTLETS WHICH MAY CONVEY EROSION STORM WATER FLOW.
 - SOIL MATERIAL STOCKPILES, AND FERTILIZING MATERIAL SHALL BE PROPERLY PROTECTED TO MINIMIZE SEDIMENT AND POLLUTANT TRANSPORT FROM THE CONSTRUCTION SITE.
 - SOLID WASTE, SUCH AS TRASH, DISCARDED BUILDING MATERIALS AND DEBRIS, SHALL BE PLACED IN DESIGNATED COLLECTION AREAS OR CONTAINERS. THE CONSTRUCTION SITE SHALL BE CLEARED OF SOLID WASTE DAILY OR AS NECESSARY. REGULAR REMOVAL AND PROPER DISPOSAL SHALL BE COORDINATED BY THE CONTRACTOR.
 - A CONCRETE WASHOUT AREA, SUCH AS A TEMPORARY PIT, SHALL BE DESIGNATED TO CLEAN CONCRETE TRUCKS AND TOOLS. AT NO TIME SHALL CONCRETE PRODUCTS AND WASTE BE ALLOWED TO ENTER COUNTY WATERWAYS SUCH AS CREEKS OR STORM DRAINS. NO WASHOUT OF CONCRETE, MORTAR MIXERS, OR TRUCKS SHALL BE ALLOWED ON SOIL.
 - PROPER APPLICATION, CLEANING, AND STORAGE OF POTENTIALLY HAZARDOUS MATERIALS, SUCH AS PAINTS AND CHEMICALS, SHALL BE CONDUCTED TO PREVENT THE DISCHARGE OF POLLUTANTS.
 - TEMPORARY RESTROOMS AND SANITARY FACILITIES SHALL BE LOCATED AND MAINTAINED DURING CONSTRUCTION ACTIVITIES TO PREVENT THE DISCHARGE OF POLLUTANTS.
 - APPROPRIATE VEHICLE STORAGE, FUELING, MAINTENANCE, AND CLEANING AREAS SHALL BE DESIGNATED AND MAINTAINED TO PREVENT DISCHARGE OF POLLUTANTS.

GRADING AND DRAINAGE PLAN FOR ROSS RESIDENCE
21 GLENWOOD AVE., ROSS, CA 94957
APN 073-121-09



AP MAP

NO SCALE

PROJECT DESCRIPTION

LANDSCAPE IMPROVEMENTS, ADDITION AND RESURFACE TO EXISTING DRIVEWAY, ADDITION TO EXISTING RESIDENCE AND ASSOCIATED GRADING AND DRAINAGE IMPROVEMENTS.

CONSTRUCTION SCHEDULE

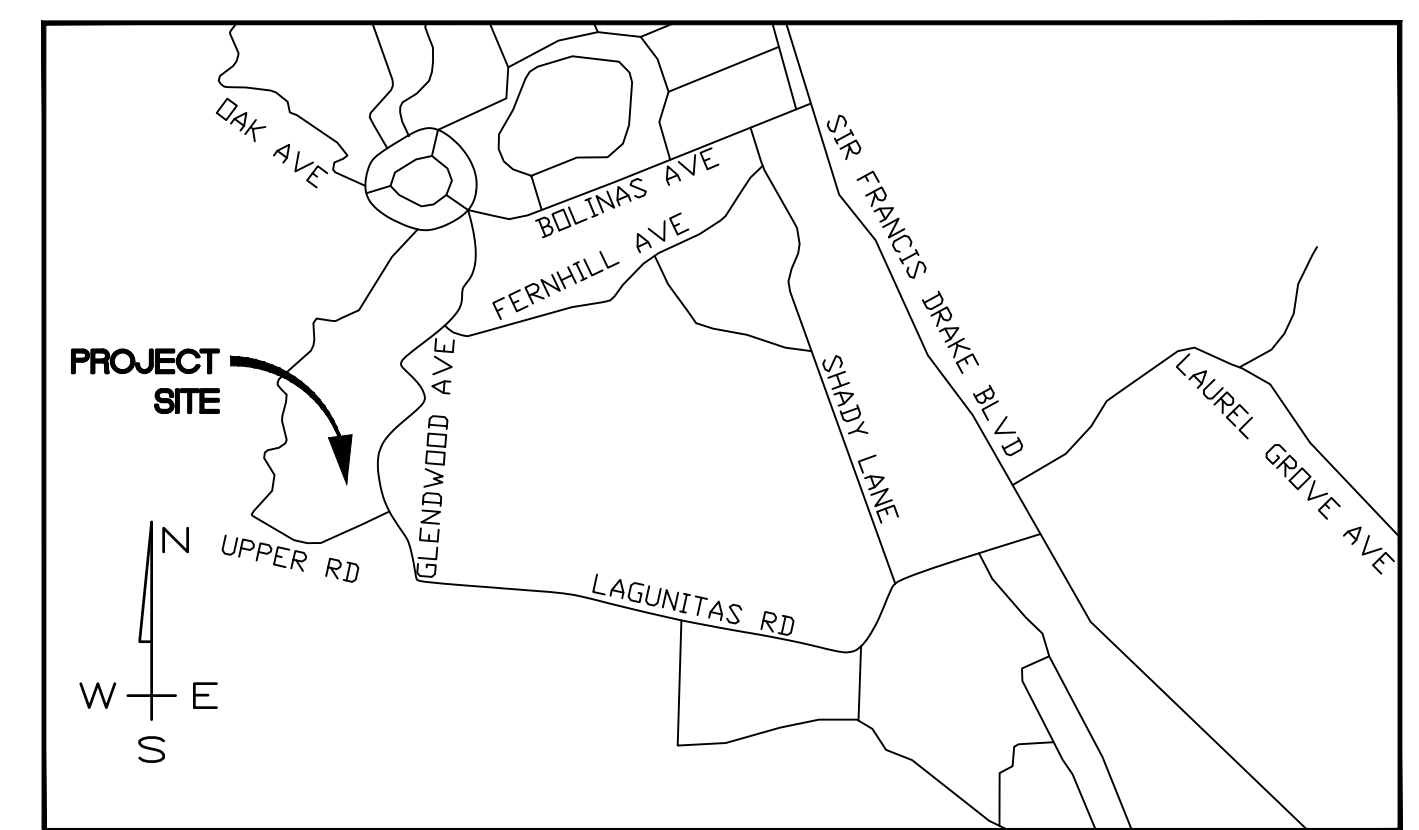
TO BE DETERMINED

SURVEY NOTES

- TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PREPARED BY CSURVEY LEA & BRAZE ENGINEERING, INC. DATED JULY 31, 2024.
- EASEMENTS ARE SHOWN PER PRELIMINARY TITLE REPORT ISSUED BY OLD REPUBLIC TITLE COMPANY, ORDER NO. 0457028883-KD, DATED AS OF APRIL 11, 2024. A ROADWAY EASEMENT LISTED AS PARCEL TWO PER DOCUMENT RECORDED IN BOOK 1415, DRMC, PAGE 505 IS NOT PLOTTABLE. EXACT LOCATION CANNOT BE DETERMINED OF RECORD. EASEMENTS FOR WATER AND SEWER PIPES PER DOCUMENTS RECORDED IN BOOK 83 OF DEED, PAGE 343 AND BOOK 95 OF DEEDS, PAGE 226 ARE NOT PLOTTABLE. EXACT LOCATION CANNOT BE DETERMINED OF RECORD.
- PROPERTY COMPLETELY OUT OF SPECIAL FLOOD HAZARD AREA (SFHA). FLOOD INSURANCE RATE MAP NO. 06041C0454E EFFECTIVE DATE: MARCH 17, 2014
- ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.
- DESCRIPTION OF BENCHMARK: SURVEY CONTROL POINT MAG AND SHINER SET IN ASPHALT ELEVATION = 472.77'

ABBREVIATIONS/LEGEND

AB	AGGREGATE BASE	PDE	PRIVATE STORM DRAIN EASEMENT	---	PROPERTY LINE
AC	ASPHALT CONCRETE	PDI	POST INDICATOR VALVE	---	NEIGHBORING PROPERTY LINE
AG	ANGLE	PDC	POINT OF CONNECTION	---	
BC	BEGIN CURVE	PSE	PRIVATE SEWER EASEMENT	---	
BD	BLOW-OFF	PT	POINT OF TANGENCY	---	
BSL	BUILDING SETBACK LINE	PUE	PUBLIC UTILITY EASEMENT	---	CENTERLINE
BSW	BACK OF SIDEWALK	PVC	POLYVINYLCHLORIDE PIPE	---	BUILDING LINE
BVC	BEGIN VERTICAL CURVE	PVT	PRIVATE VERTICAL CURVE	---	GRAVEL DRIVEWAY
BW	BOTTOM OF RETAINING WALL	R=	RADIUS	---	EDGE OF PAVING
CB	CATCH BASIN	R/W	RIGHT OF WAY	---	CONCRETE CURB & GUTTER
CNCC	CONCRETE	RCP	REINFORCED CONCRETE PIPE	---	STRAW WATTLE
CPP	CORRUGATED PLASTIC PIPE	RET	RETAINING RETAINING WALL	---	SANITARY SEWER LINE & SIZE
CR	CURB RETURN	RP	REDUCED PRESSURE BACK FLOW PREVENTER	---	EXISTING OVER HEAD WIRES
DI	DROP INLET	S.A.D.	SEE ARCHITECTURAL DESIGN	---	EXISTING FENCE LINE (TYPE VARIES)
DIP	DUCTILE IRON PIPE	S=	SLOPE	---	UNDERGROUND GAS LINE
DWY	DRIVEWAY	SD	STORM DRAIN	---	DRIP LINE OF TREE OR BRUSH LINE
EC	END CURVE	SDCI	STORM DRAIN CLEANOUT	---	
EG	EXISTING GROUND	SDDI	STORM DRAIN DROP INLET	---	
ELEV	ELEVATION	SDE	PUBLIC STORM DRAIN EASEMENT	---	
EP	EDGE OF PAVEMENT	SDMH	STORM DRAIN MANHOLE	---	
ESMT	EASEMENT	S.L.D	SEE LANDSCAPE DESIGN	---	
EVC	END VERTICAL CURVE	S.S.D.	SEE STRUCTURAL DESIGN	---	
(E).EX	EXISTING	SS	SANITARY SEWER	---	
FC	FACE OF CURB	SSC	SANITARY SEWER CLEANOUT	---	
FG	FINISH GRADE	SSMH	SANITARY SEWER MANHOLE	---	
FS	FINISH SURFACE	STA	STATION	---	
GB	GRADE BREAK	STD	STANDARD	---	
HDPE	HIGH DENSITY POLYETHYLENE	SW	SIDEWALK	---	
HT	HEIGHT	SWE	SANITARY SEWER EASEMENT	---	
MND	MARIN CD. SEWER DISTRICT	TC	TOP OF CURB	---	
MWD	MARIN MUNICIPAL WATER DISTRICT	TG	TOP OF GRATE	---	
PAE	STANDARD CITY MONUMENT PRIVATE ACCESS, MAINTENANCE, DRAINAGE, SIDEWALK, AND UTILITY EASEMENT	TW	TOP OF RETAINING WALL	---	
PC	POINT OF CURVATURE	TYP	TYPICAL	---	
PCC	PORTLAND CEMENT CONCRETE	UNL	UNLESS NOTED OTHERWISE	---	
		UNL	UNLESS NOTED OTHERWISE	---	
		WD	WATER LINE	---	
		WM	WATER METER	---	
		WS	WATER SERVICE	---	
		VC	VERTICAL CURVE	---	



LOCATION MAP

NO SCALE

OWNER

GLENWOOD ROSS LLC
135 MAIN STREET, STE 850
SAN FRANCISCO, CA 94105
CONTACT: PHILLIP LAU

CONTACT

DAN HUGHES
MUNSELLE CIVIL ENGINEERING
513 CENTER STREET
HEALDSBURG, CA 95448
(707) 395-0968

INDEX OF DRAWINGS

- C1 COVER SHEET, NOTES, LOCATION MAP
- C2 OVERALL SITE PLAN
- C3 GRADING AND DRAINAGE PLAN
- C4 DRAINAGE PLAN
- C5 EROSION CONTROL PLAN AND DETAILS
- C6 DETAILS
- H1 PRE-POST HYDROLOGY MAPS

PRELIMINARY EARTHWORK:

AREA	CUT	FILL	NET
SITE LANDSCAPE	68 CY	151 CY	83 CY FILL
DRIVEWAY AREA	45 CY	25 CY	20 CY CUT
BASEMENT	498 CY	0 CY	498 CY CUT
TOTAL	611 CY	176 CY	435 CY CUT <OFFHAUL>

- NOTES:
- THE QUANTITIES LISTED ARE THE ENGINEER'S ESTIMATE OF SURFACE GRADING ONLY. ADDITIONAL SUBSURFACE GRADING WILL BE REQUIRED FOR BENCHMARK, KEYWAYS, ETC.
 - CONTRACTOR IS RESPONSIBLE FOR THEIR OWN EARTHWORK QUANTITIES.
 - NO EXPANSION/CONTRACTION FACTORS HAVE BEEN APPLIED. EXPANSION AND/OR CONTRACTION MAY BE EXPERIENCED DUE TO ACTUAL FIELD CONDITIONS.
 - ANY EXCESS MATERIAL SHALL BE DISPOSED OF ONSITE UNDER THE DIRECTION OF THE PROJECT SOILS ENGINEER AND COORDINATED WITH THE PROJECT CIVIL ENGINEER.
 - APPROX. DISTURBED AREA OF SITE 0.76 AC. (33,100 SF)

- NOTE:
- ASSUMED 7" FROM DRIVEWAY FS TO SUBGRADE (FOR NEW DRIVEWAY AREAS ONLY)
 - ASSUMED EXISTING RESIDENCE FOUNDATION IS SLAB ON GRADE.

D:\DEVELOPER\MUNSELLE CIVIL DROPOFFBOX\ELIA RODRIGUEZ-LOPEZ\COMPANY-DATA\MCE JOBS\2024\273-24 21 GLENWOOD AVE\DWG\273-24 21 IP-1.DWG 1/10/2025 7:30 PM EL

MUNSELLE CIVIL ENGINEERING
 CIVIL ENGINEERING & SURVEYING
 PLANNING & CONST. MANAGEMENT
 513 CENTER STREET
 HEALDSBURG, CA 95448
 (707) 395-0968

MCE
 CIVIL ENGINEERING

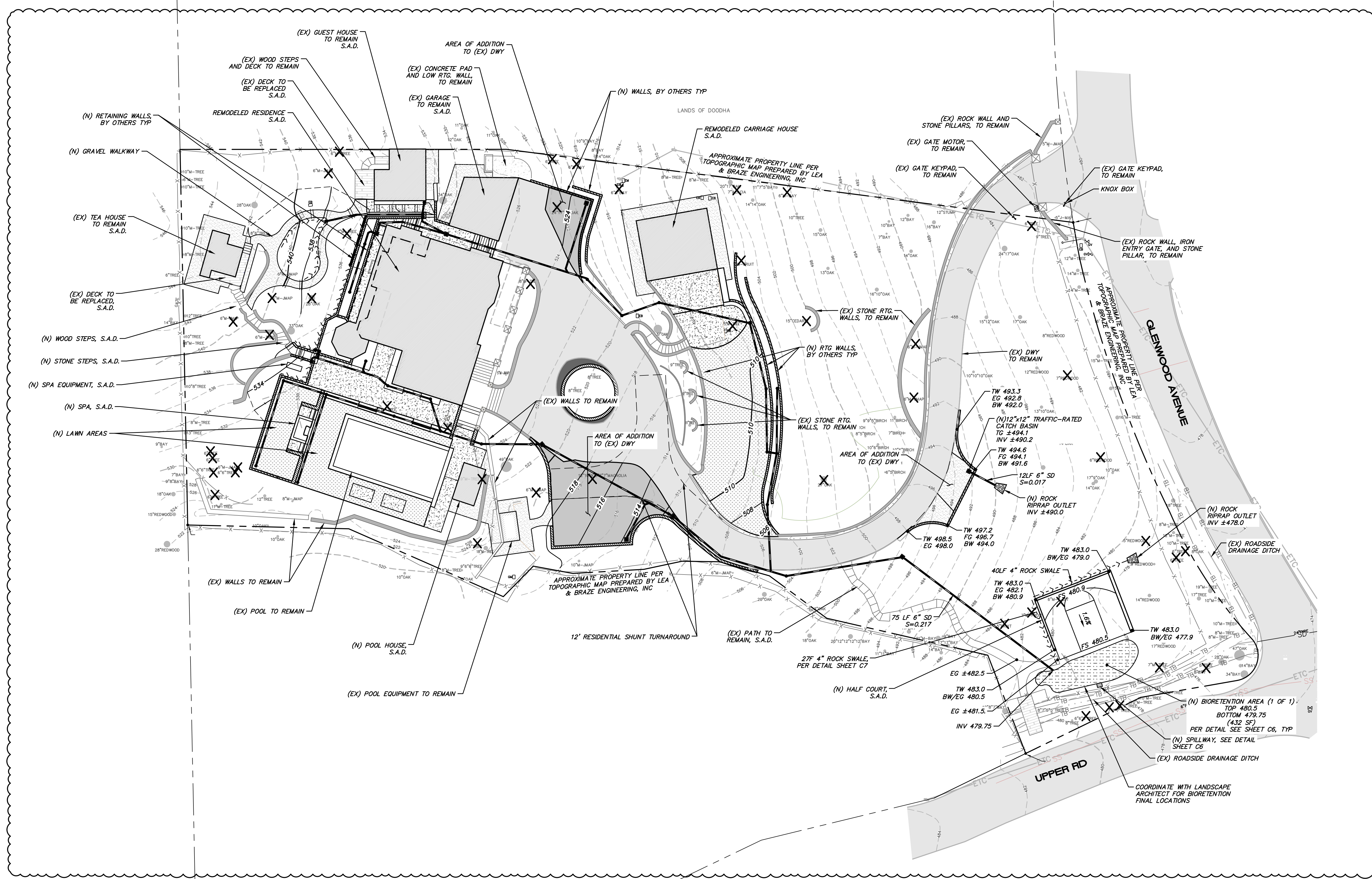
DANIEL HUGHES
 REGISTERED PROFESSIONAL ENGINEER - CIVIL
 No. 60225
 DATE 06/26/25

ROSS RESIDENCE
 COVER SHEET, NOTES, LOCATION MAP
 APN 073-121-09
 21 GLENWOOD AVENUE
 ROSS, CA 94957

JANUARY 10, 2024
 JOB NO. 273-24
 SHEET NO. C1
 OF 7 SHEETS

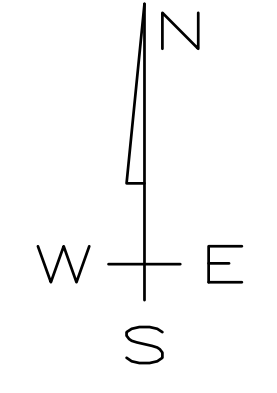
LEGEND

	REMODELED RESIDENCE/BUILDING SEE ARCHITECTURAL PLANS
	PROPOSED CONCRETE SEE ARCHITECTURAL PLANS
	PROPOSED ASPHALT
	PROPOSED GRAVEL
	PROPOSED LANDSCAPE/LAWN S.A.D.
	TREE TO BE REMOVED



D:\DEV\ELIA MUNSELLE CIVIL DROPBOX\ELIA RODRIGUEZ-LOPEZ\COMPANY-DATA\MCE JOBS\2024\273-24 21 GLENWOOD AVE\DWGS\273-24 IP-1.DWG 1/10/2025 7:30 PM EL

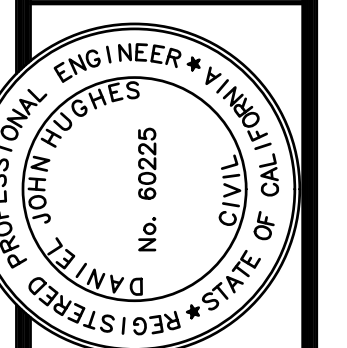
OVERALL SITE PLAN
SCALE: 1" = 10'
0 10 20 30
(GRAPHIC SCALE IN FEET)



2

REVISION	DESCRIPTION	BY	DATE
2	AIR REVISION 2	ER	01/10/2025

MUNSELLE CIVIL ENGINEERING
CIVIL ENGINEERING & SURVEYING
PLANNING & CONST. MANAGEMENT
515 CENTER STREET
HEALDSBURG, CA 95448
(707) 360-0868



Daniel J. Hughes
DANIEL JOHN HUGHES
P.E. 60225

**ROSS RESIDENCE
OVERALL SITE PLAN**
APR 07-12-09
21 GLENWOOD AVENUE
ROSS, CA 94857

JANUARY 10, 2024
JOB NO.
273-24
SHEET NO.

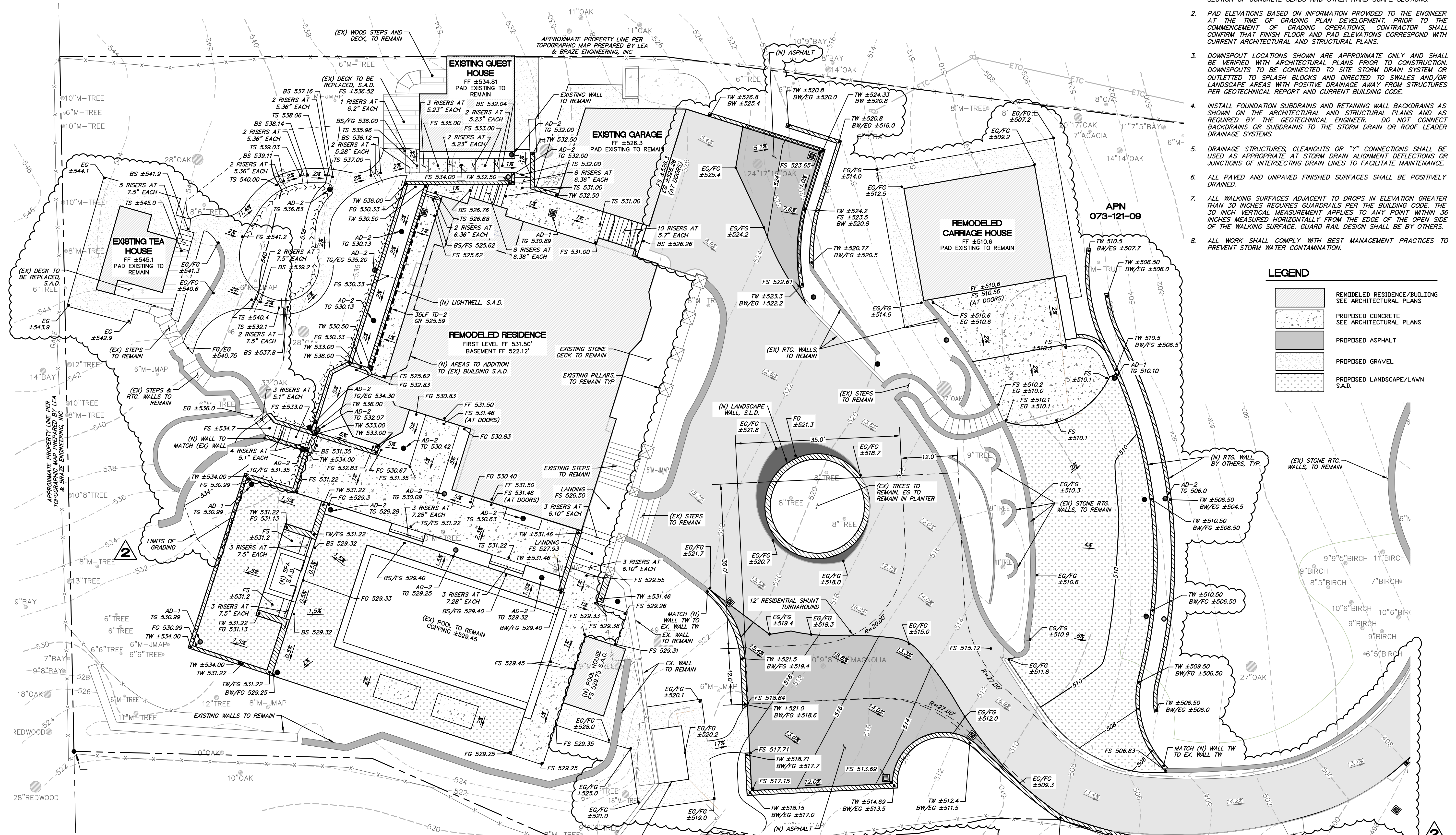
C2
OF 7 SHEETS

GRADING AND DRAINAGE NOTES

- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR STRUCTURAL SECTION OF CONCRETE SLABS AND OTHER HARD SCAPE SECTIONS.
- PAD ELEVATIONS BASED ON INFORMATION PROVIDED TO THE ENGINEER AT THE TIME OF GRADING PLAN DEVELOPMENT. PRIOR TO THE COMMENCEMENT OF GRADING OPERATIONS, CONTRACTOR SHALL CONFIRM THAT FINISH FLOOR AND PAD ELEVATIONS CORRESPOND WITH CURRENT ARCHITECTURAL AND STRUCTURAL PLANS.
- DOWNSPOUT LOCATIONS SHOWN ARE APPROXIMATE ONLY AND SHALL BE VERIFIED WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. DOWNSPOUTS TO BE CONNECTED TO SITE STORM DRAIN SYSTEM OR OUTLETED TO SPLASH BLOCKS AND DIRECTED TO SWALES AND/OR LANDSCAPE AREAS WITH POSITIVE DRAINAGE AWAY FROM STRUCTURES PER GEOTECHNICAL REPORT AND CURRENT BUILDING CODE.
- INSTALL FOUNDATION SUBDRAINS AND RETAINING WALL BACKDRAINS AS SHOWN ON THE ARCHITECTURAL AND STRUCTURAL PLANS AND AS REQUIRED BY THE GEOTECHNICAL ENGINEER. DO NOT CONNECT BACKDRAINS OR SUBDRAINS TO THE STORM DRAIN OR ROOF LEADER DRAINAGE SYSTEMS.
- DRAINAGE STRUCTURES, CLEANOUTS OR "Y" CONNECTIONS SHALL BE USED AS APPROPRIATE AT STORM DRAIN ALIGNMENT DEFLECTIONS OR JUNCTIONS OF INTERSECTING DRAIN LINES TO FACILITATE MAINTENANCE.
- ALL PAVED AND UNPAVED FINISHED SURFACES SHALL BE POSITIVELY DRAINED.
- ALL WALKING SURFACES ADJACENT TO DROPS IN ELEVATION GREATER THAN 30 INCHES REQUIRES GUARDRAILS PER THE BUILDING CODE. THE 30 INCH VERTICAL MEASUREMENT APPLIES TO ANY POINT WITHIN 36 INCHES MEASURED HORIZONTALLY FROM THE EDGE OF THE OPEN SIDE OF THE WALKING SURFACE. GUARD RAIL DESIGN SHALL BE BY OTHERS.
- ALL WORK SHALL COMPLY WITH BEST MANAGEMENT PRACTICES TO PREVENT STORM WATER CONTAMINATION.

LEGEND

- REMODELED RESIDENCE/BUILDING SEE ARCHITECTURAL PLANS
- PROPOSED CONCRETE SEE ARCHITECTURAL PLANS
- PROPOSED ASPHALT
- PROPOSED GRAVEL
- PROPOSED LANDSCAPE/LAWN S.A.D.

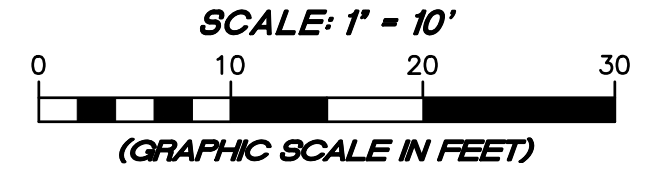


DRAINAGE SCHEDULE

- AD-1 DECORATIVE 6" AREA DRAIN WITH PEDESTRIAN RATED GRATE, OR APPROVED EQUAL
- AD-2 DECORATIVE 6" AREA DRAIN WITH ATRIUM GRATE
- DI-1 12"x12" OLDCASTLE PRECAST CONCRETE INLET, WITH PEDESTRIAN RATED GRATE OR APPROVED EQUAL
- TD-1 ACO KLASSIKDRAIN K100 WITH PEDESTRIAN RATED GRATE OR APPROVED EQUAL

ALL 6" STORM DRAIN PIPE TO BE HDPE DUAL WALL.
ALL 4" STORM DRAIN, SUBDRAIN, AND ROOF LEADER DRAIN PIPE TO BE PVC SCHEDULE 40.

GRADING AND DRAINAGE PLAN



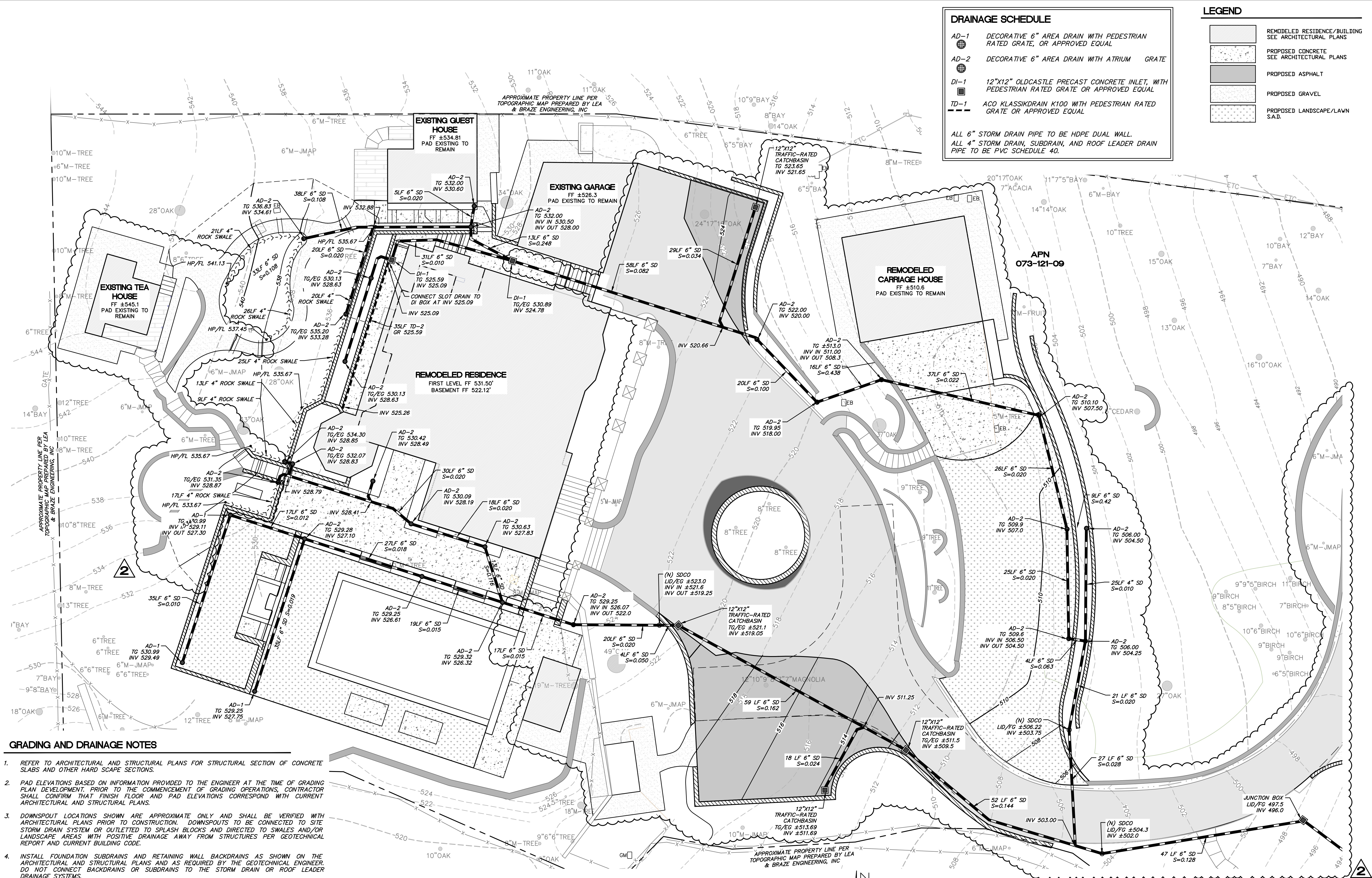
MUNSELLE CIVIL ENGINEERING
 CIVIL ENGINEERING & SURVEYING
 CIVIL PLANNING & CONST. MANAGEMENT
 515 CENTER STREET
 HEALDSBURG, CA 95448
 (707) 365-0868

ROSS RESIDENCE GRADING AND DRAINAGE PLAN
 APN 073-121-09
 21 GLENWOOD AVENUE
 ROSS, CA 94857

DATE: 01/10/2025
 BY: [Signature]
 DESCRIPTION: [Blank]
 REVISION: 2
 ADR: REVISION 2

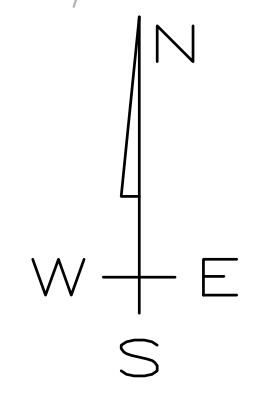
REGISTERED PROFESSIONAL ENGINEER - CIVIL
 DANIEL JOHN HUGHES
 No. 60225
 DATE: JANUARY 10, 2024
 JOB NO.: 273-24
 SHEET NO.: 3 OF 7 SHEETS

D:\DEV\ELIA MUNSELLE CIVIL DROPTBOX\COMPANY-DATA\MCE JOBS\2024\273-24 21 GLENWOOD AVE\DWGS\273-24 IP-1.DWG 1/10/2025 7:31 PM EL



- GRADING AND DRAINAGE NOTES**
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR STRUCTURAL SECTION OF CONCRETE SLABS AND OTHER HARD SCAPE SECTIONS.
 - PAD ELEVATIONS BASED ON INFORMATION PROVIDED TO THE ENGINEER AT THE TIME OF GRADING PLAN DEVELOPMENT. PRIOR TO THE COMMENCEMENT OF GRADING OPERATIONS, CONTRACTOR SHALL CONFIRM THAT FINISH FLOOR AND PAD ELEVATIONS CORRESPOND WITH CURRENT ARCHITECTURAL AND STRUCTURAL PLANS.
 - DOWNSPOUT LOCATIONS SHOWN ARE APPROXIMATE ONLY AND SHALL BE VERIFIED WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. DOWNSPOUTS TO BE CONNECTED TO SITE STORM DRAIN SYSTEM OR OUTLETTED TO SPLASH BLOCKS AND DIRECTED TO SWALES AND/OR LANDSCAPE AREAS WITH POSITIVE DRAINAGE AWAY FROM STRUCTURES PER GEOTECHNICAL REPORT AND CURRENT BUILDING CODE.
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 - ALL WORK SHALL COMPLY WITH BEST MANAGEMENT PRACTICES TO PREVENT STORM WATER CONTAMINATION.

DRAINAGE PLAN
 SCALE: 1" = 10'
 (GRAPHIC SCALE IN FEET)



DRAINAGE SCHEDULE

AD-1	DECORATIVE 6" AREA DRAIN WITH PEDESTRIAN RATED GRATE, OR APPROVED EQUAL
AD-2	DECORATIVE 6" AREA DRAIN WITH ATRIUM GRATE
DI-1	12"x12" OLDCASTLE PRECAST CONCRETE INLET, WITH PEDESTRIAN RATED GRATE OR APPROVED EQUAL
TD-1	ACO KLASIKDRAIN K100 WITH PEDESTRIAN RATED GRATE OR APPROVED EQUAL

ALL 6" STORM DRAIN PIPE TO BE HDPE DUAL WALL.
 ALL 4" STORM DRAIN, SUBDRAIN, AND ROOF LEADER DRAIN PIPE TO BE PVC SCHEDULE 40.

LEGEND

[Pattern]	REMODELED RESIDENCE/BUILDING SEE ARCHITECTURAL PLANS
[Pattern]	PROPOSED CONCRETE SEE ARCHITECTURAL PLANS
[Pattern]	PROPOSED ASPHALT
[Pattern]	PROPOSED GRAVEL
[Pattern]	PROPOSED LANDSCAPE/LAWN S.A.D.

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 515 CENTER STREET
 HEALDSBURG, CA 95448
 (707) 365-0868

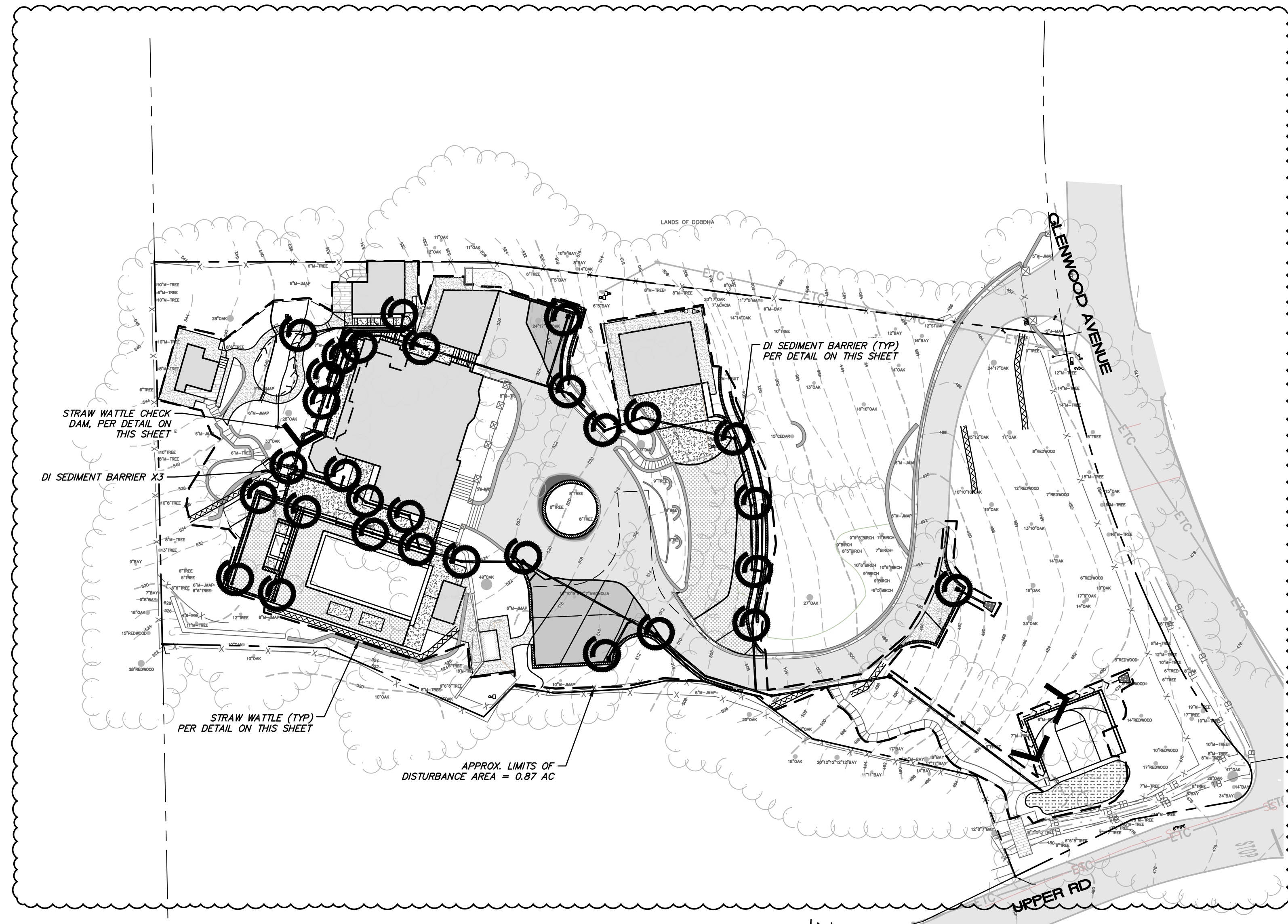
MCE
 REGISTERED PROFESSIONAL ENGINEER - CIVIL
 No. 60225
 DANIEL JOHN HUGHES
 DATE: 06/25/2025

ROSS RESIDENCE DRAINAGE PLAN
 APN 073-121-09
 21 GLENWOOD AVENUE
 ROSS, CA 94857

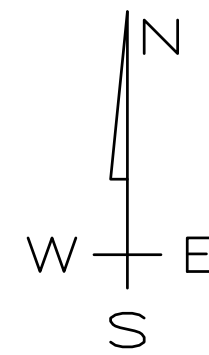
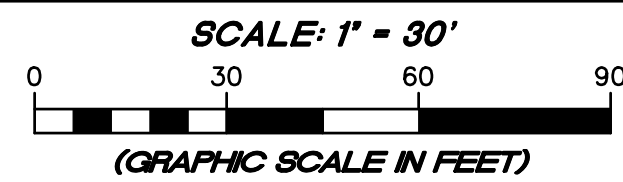
REVISION	DESCRIPTION	DATE
2	AIR REVISION 2	01/10/2025

JANUARY 10, 2024
 JOB NO. 273-24
 SHEET NO. C4
 OF 7 SHEETS

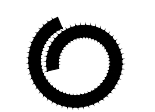

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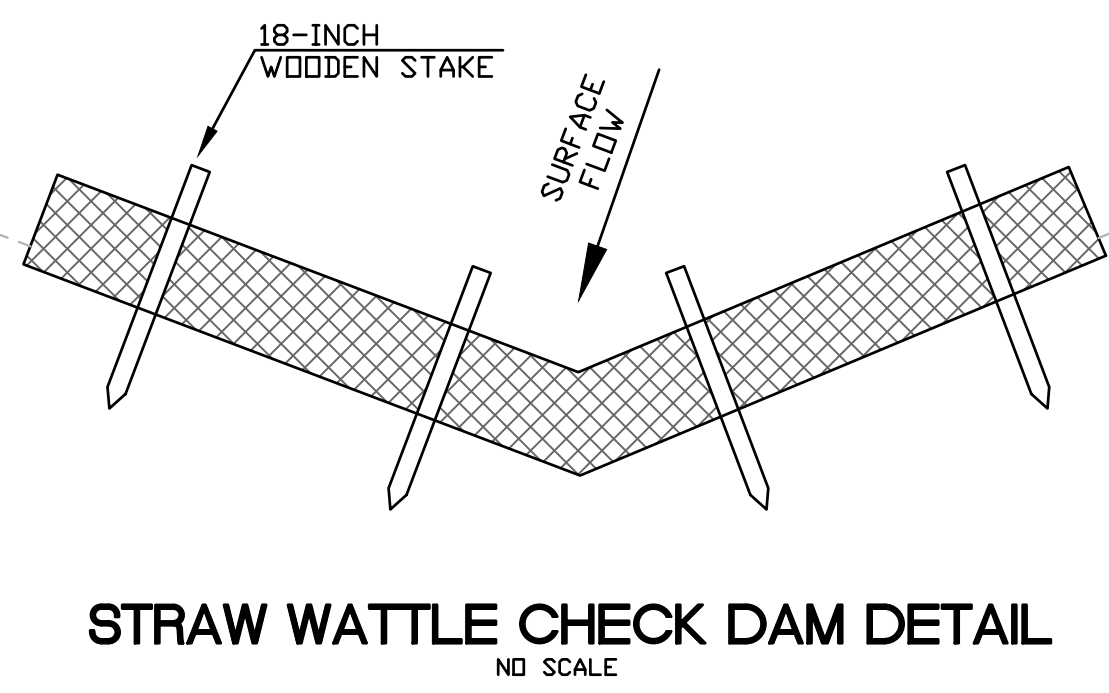


EROSION CONTROL PLAN

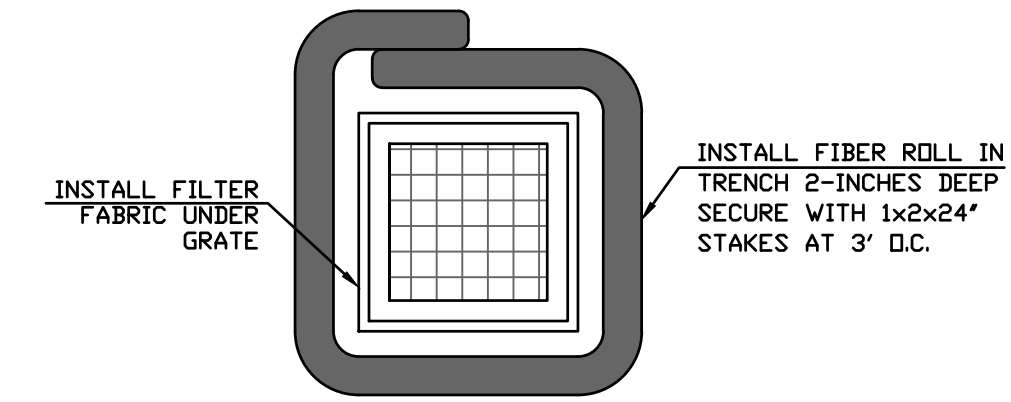
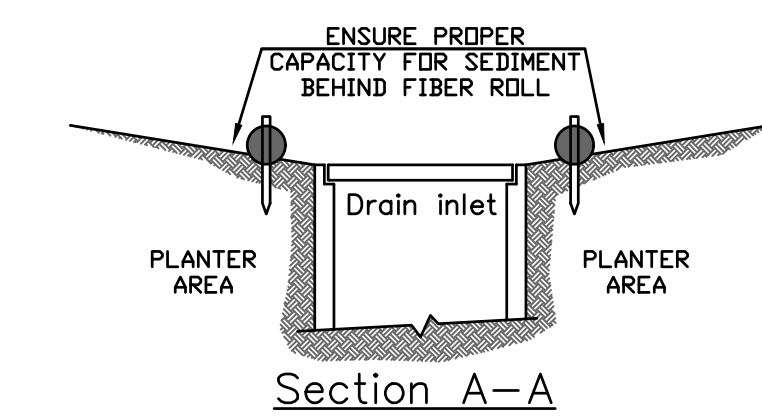


LEGEND

-  DRAIN INLET SEDIMENT BARRIER
-  STRAW WATTLE CHECK DAM

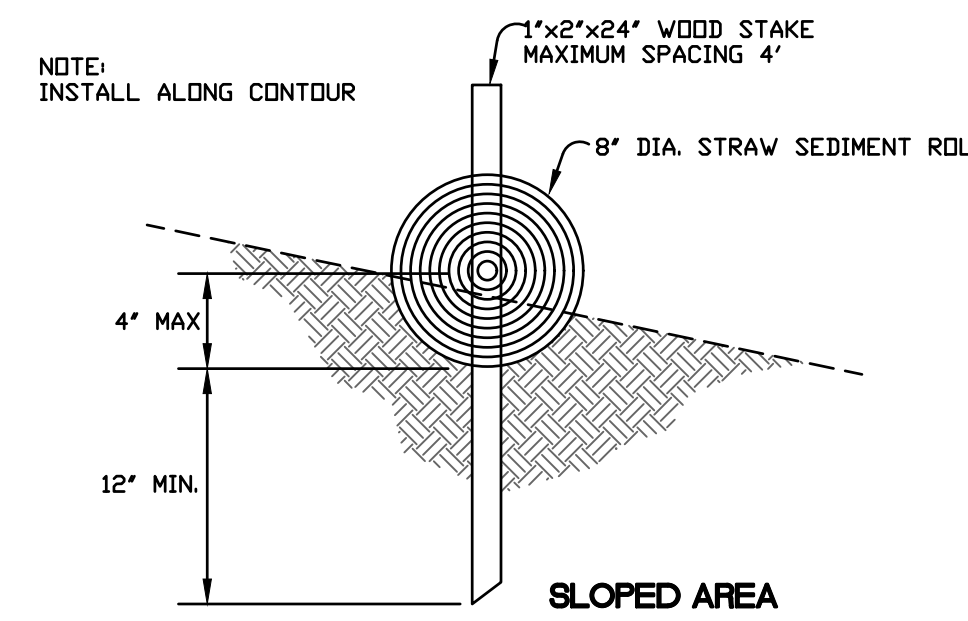
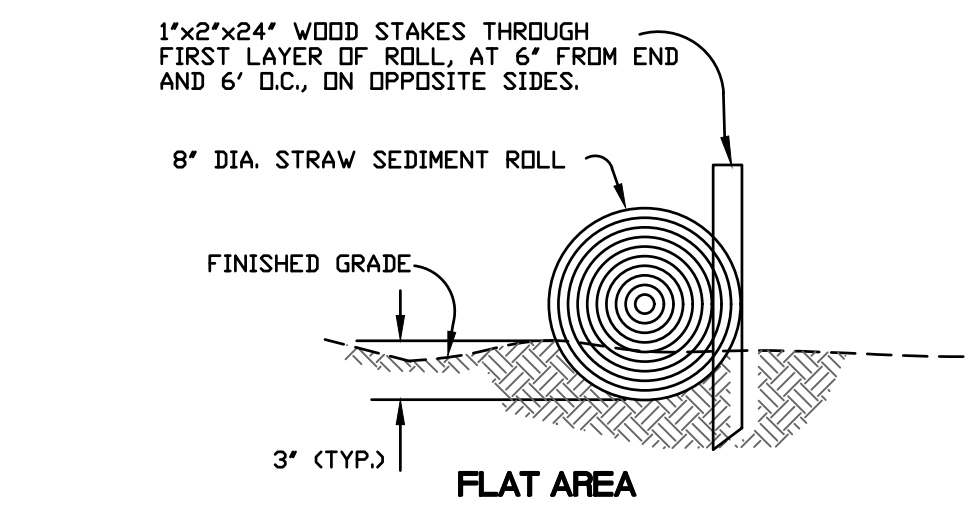


STRAW WATTLE CHECK DAM DETAIL
NOT TO SCALE

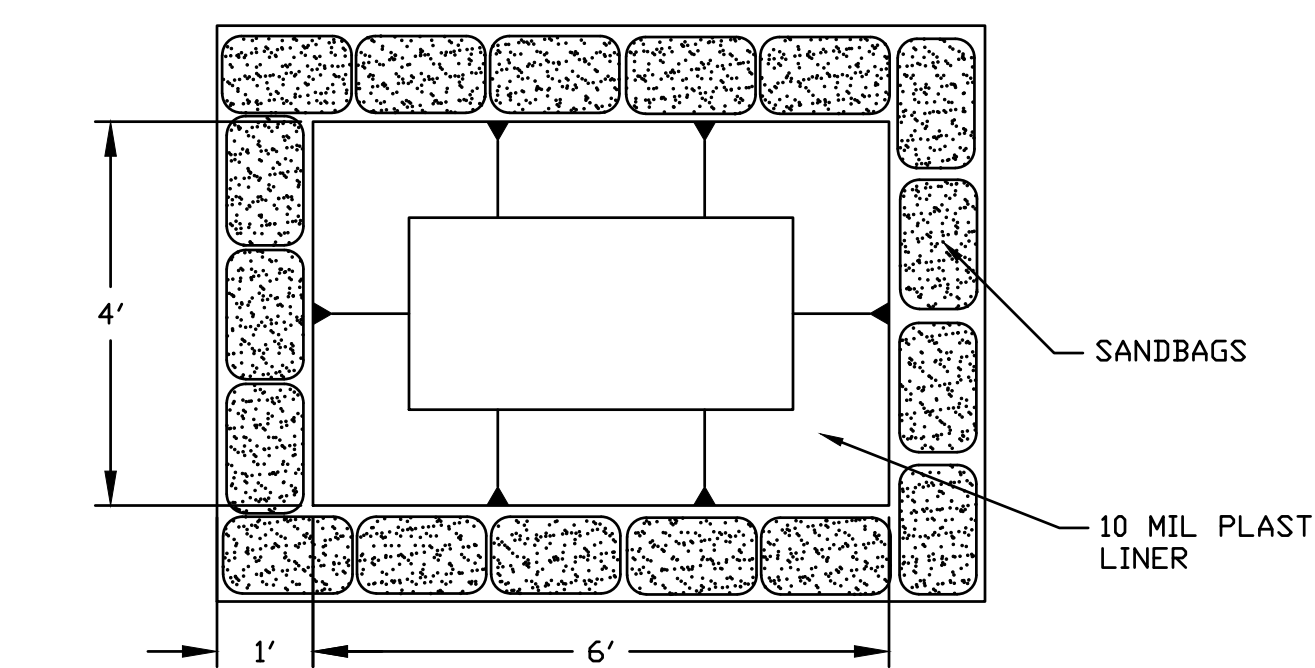
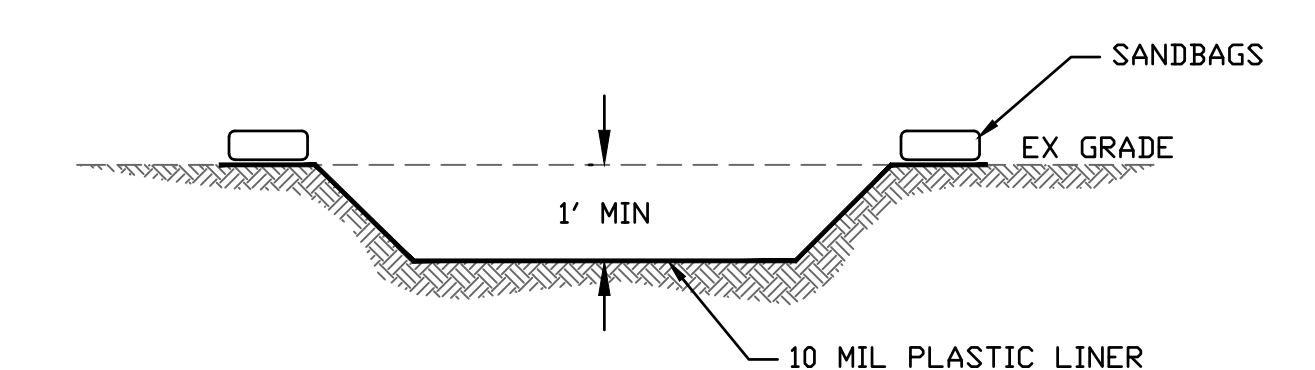


NOTES:
1. INSPECT INLET PROTECTION DEVICE BEFORE AND AFTER RAIN EVENTS, AND WEEKLY THROUGH THE RAINY SEASON. DURING EXTENDED RAIN EVENTS, INSPECT AT LEAST ONCE EVERY 24 HOURS.
2. REMOVE AND PROPERLY DISPOSE OF ACCUMULATED SILT AND DEBRIS TO ALLOW FOR PROPER FUNCTION OF DEVICE

DROP INLET SEDIMENT BARRIER
NOT TO SCALE



STRAW WATTLE DETAIL
NOT TO SCALE



CONCRETE WASHOUT DETAIL
NOT TO SCALE

REVISION	DESCRIPTION	BY	DATE
2	AIR REVISION 2	ERK	01/10/2025

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 PLANNING • CONST. MANAGEMENT •
 515 CENTER STREET
 HEALDSBURG, CA 95448
 (707) 365-0868

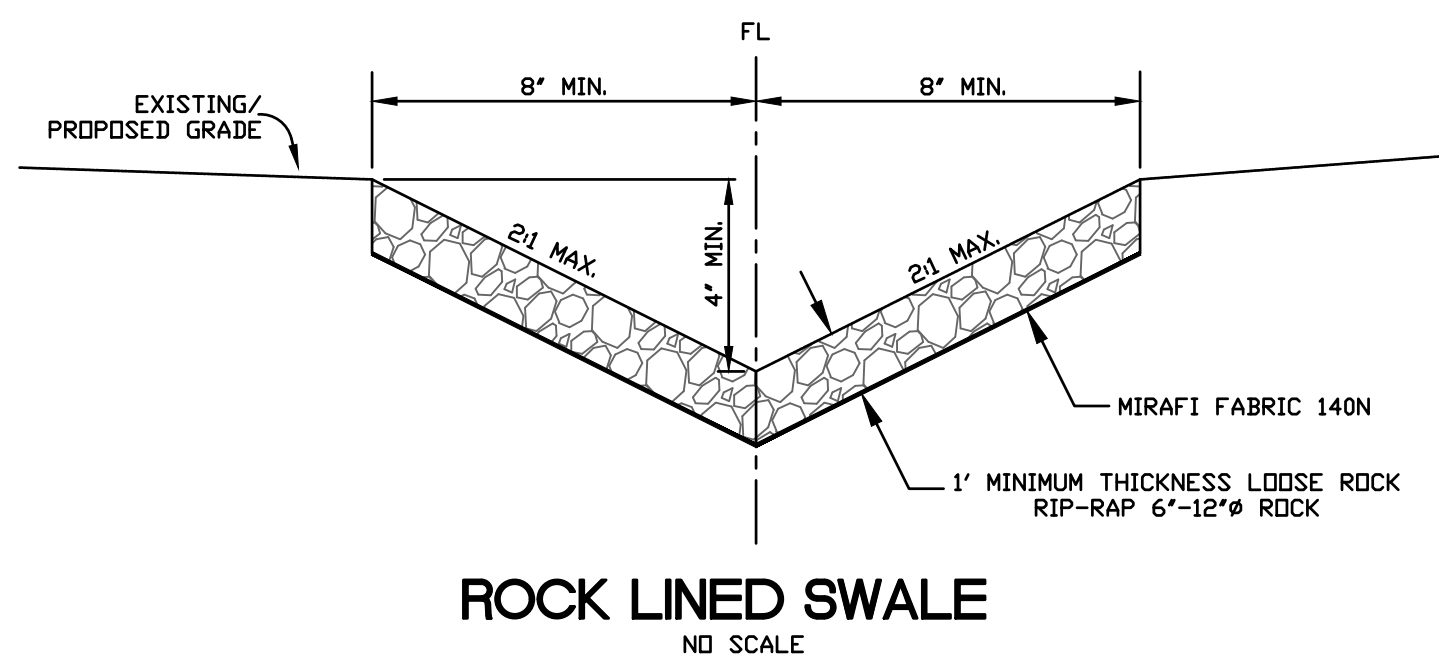
MCE
 THE ENGINEERS

PROFESSIONAL ENGINEER - CIVIL
 DANIEL JOHN HUGHES
 No. 60225
 STATE OF CALIFORNIA

Daniel J. Hughes
 DANIEL JOHN HUGHES
 PCE 60225
 DATE

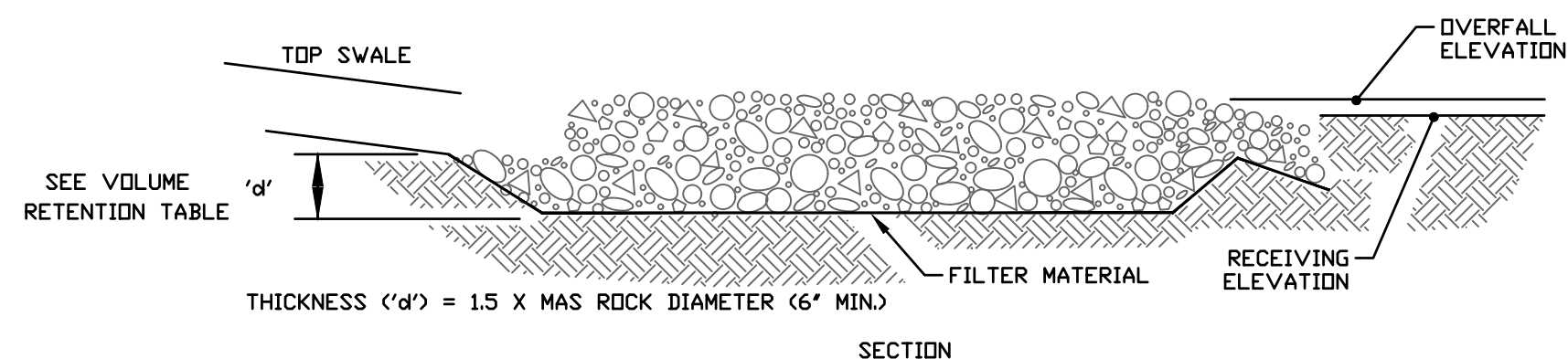
ROSS RESIDENCE
EROSION CONTROL PLAN AND DETAILS
 APR 07/2024-09
 21 GLENWOOD AVENUE
 ROSS, CA 94957

JANUARY 10, 2024
 JOB NO. 273-24
 SHEET NO. C5
 OF 7 SHEETS



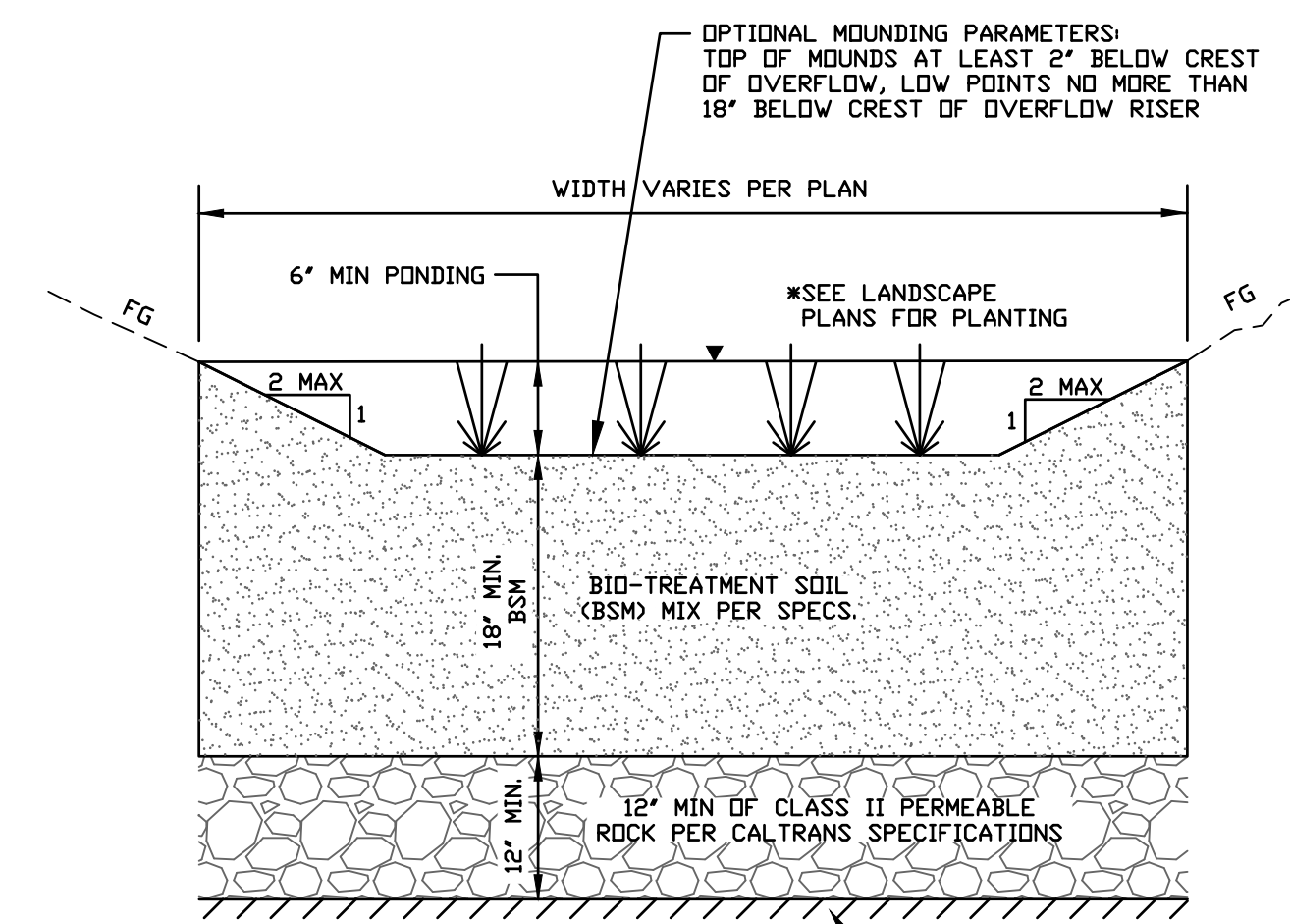
ROCK LINED SWALE

ND SCALE



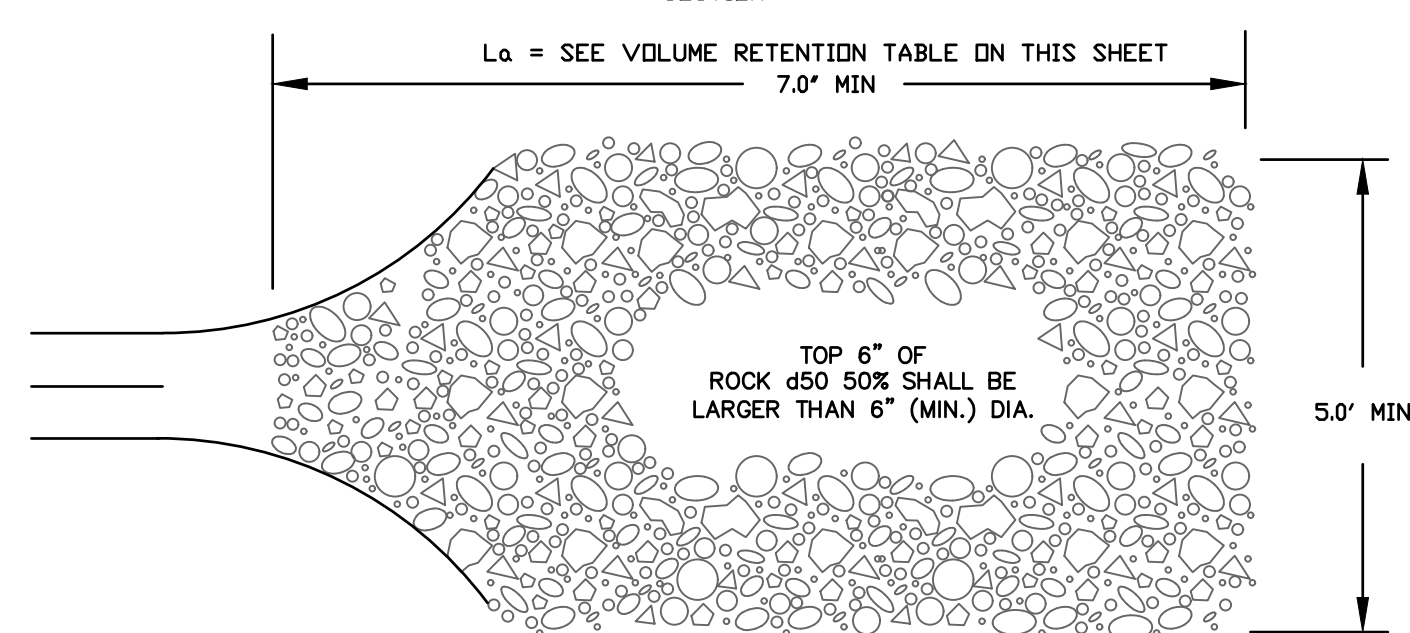
STORM DRAIN TRENCH

NOT TO SCALE



**SECTION VIEW
BIORETENTION AREA**

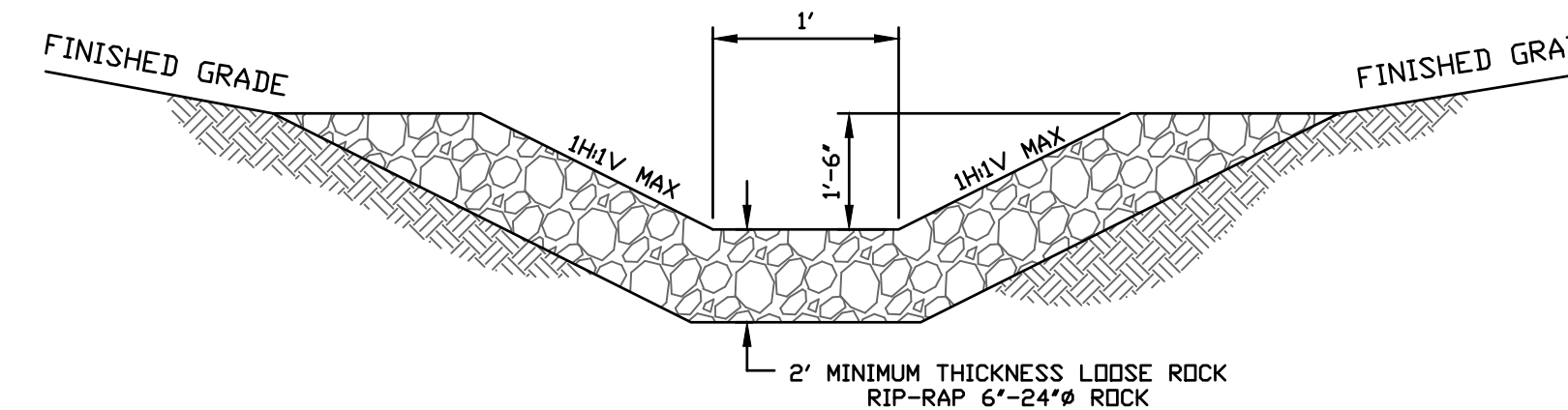
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ROCK OUTLET FOR SWALE

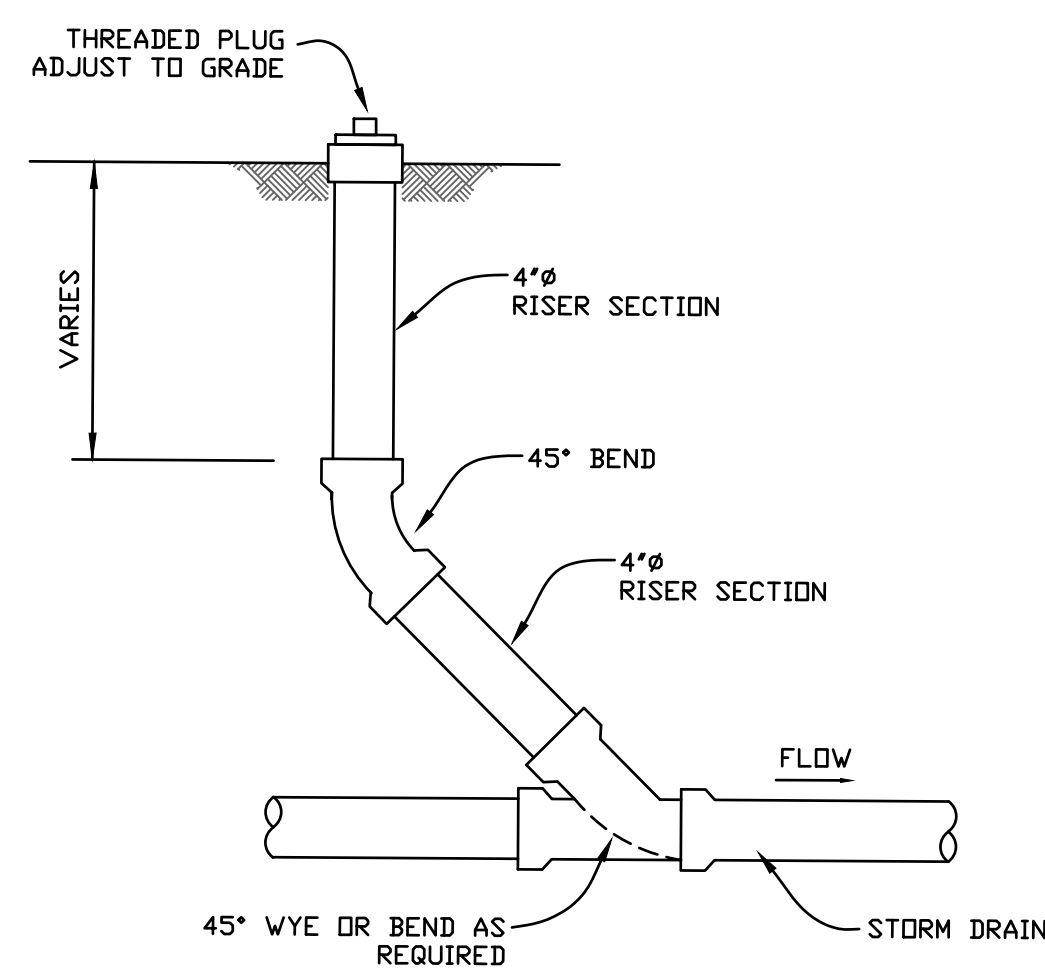
ND SCALE

- NOTES:
1. 'La' = LENGTH OF APRON. DISTANCE 'La' SHALL BE OF SUFFICIENT LENGTH TO DISSIPATE ENERGY.
 2. APRON SHALL BE SET AT A ZERO GRADE AND ALIGNED STRAIGHT.
 3. FILTER MATERIAL SHALL BE FILTER FABRIC OR 6" THICK (MIN) GRADED GRAVEL LAYER.



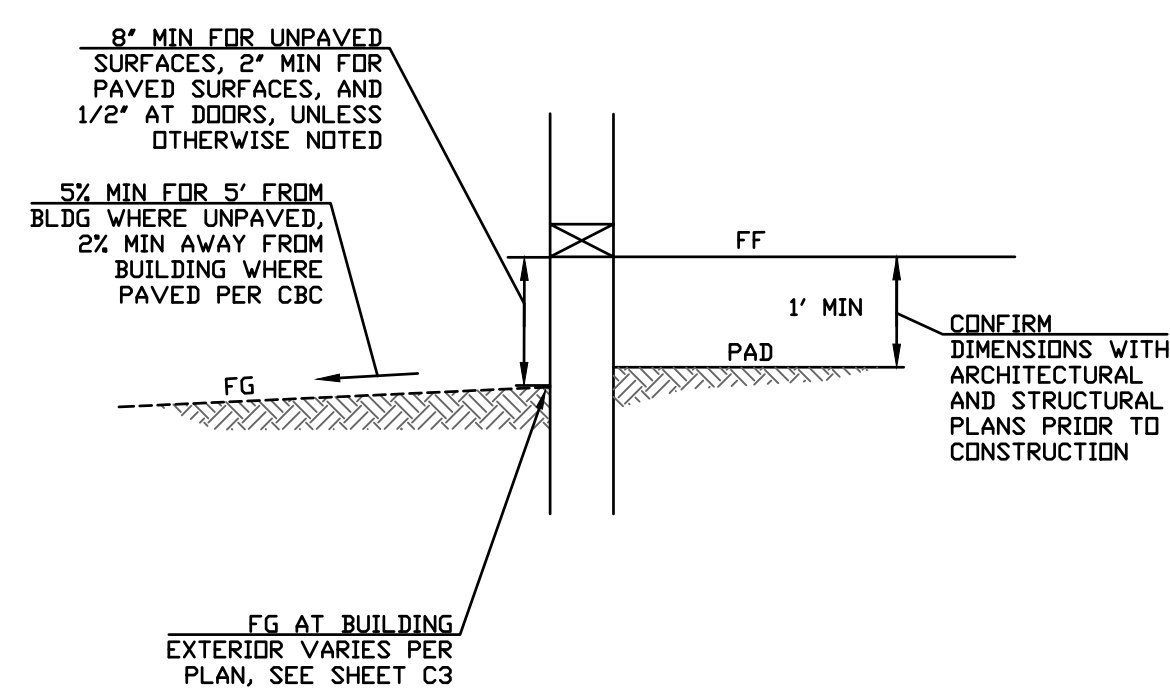
TYPICAL SPILLWAY SECTION

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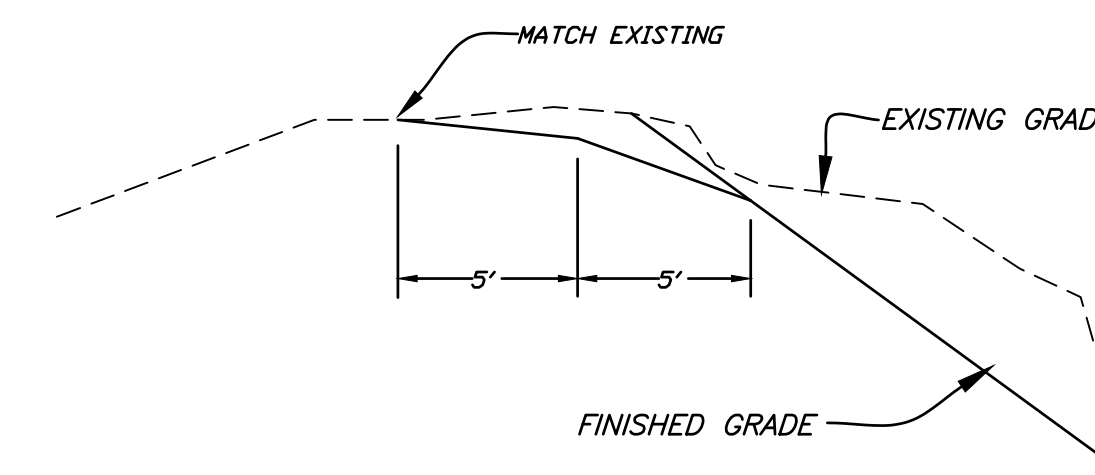
STORM DRAIN CLEANOUT

NOT TO SCALE



TYPICAL GRADING AT BUILDING (S.O.G.)

NOT TO SCALE



SLOPE ROUNDING DETAIL

ND SCALE

D:\DEV\ELIA\MUNSELLE\CIVIL DROPBOX\ELIA RODRIGUEZ-LOPEZ\COMPANY-DATA\MCE JOBS\2024\273-24 21 GLENWOOD AVE\DWGS\273-24 IP-1.DWG 1/10/2025 7:31 PM EL

REVISION	DESCRIPTION	BY	DATE
2	AUR REVISION 2	ERK	01/10/2025

MUNSELLE CIVIL ENGINEERING
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 518 CENTER STREET
 HEALDSBURG, CA 95448
 (707) 393-0868



Daniel John Hughes
 DANIEL JOHN HUGHES
 REGISTERED PROFESSIONAL ENGINEER - CIVIL
 STATE OF CALIFORNIA
 LICENSE NO. 60225
 DATE

**ROSS RESIDENCE
DETAILS**
 APR 07/21-09
 21 GLENWOOD AVENUE
 ROSS, CA 94857

JANUARY 10, 2024
 JOB NO.
 273-24
 SHEET NO.

C6
 OF 7 SHEETS

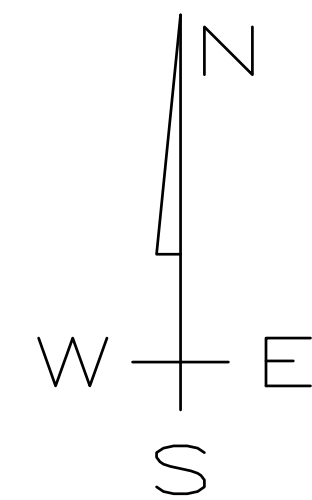
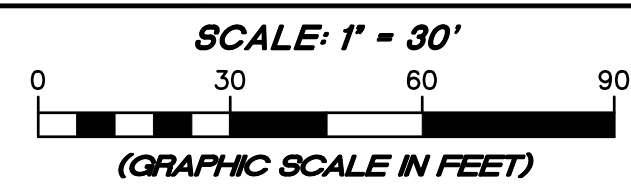
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LEGEND

- EXISTING IMPERVIOUS AREA TO BE REMOVED
- EXISTING IMPERVIOUS AREA TO REMAIN

PRE-CONSTRUCTION HYDROLOGY MAP



PERMEABILITY CALCULATIONS

PRE-AND POST-CONSTRUCTION PERVIOUS/IMPERVIOUS AREAS (WITHIN TRIB LIMITS)			
	IMPERVIOUS AREA (SF)	% OF PRCL	PERVIOUS AREA (SF)
NOTE: TOTAL PARCEL AREA - 63,464 SF - 1.46 AC			
TOTAL TRIB AREA - 64,831 SF - 1.49 AC			
PRE-CONSTRUCTION (NOT INCL. 656 SF EX. IMP. IN R.O.W.)	17,793 SF	28.0%	45,671 SF
POST CONSTRUCTION (NOT INCL. 656 SF EX. IMP. IN R.O.W.)	18,735 SF	29.5%	44,729 SF
POST CONSTRUCTION CHANGE IN IMPERVIOUS AREA	942 SF		

PROJECT BASMAA

TOTAL NEW AND REPLACED IMPERVIOUS AREA (SF)	5,397 SF
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STORM WATER TREATMENT (BASMAA) NOTES:

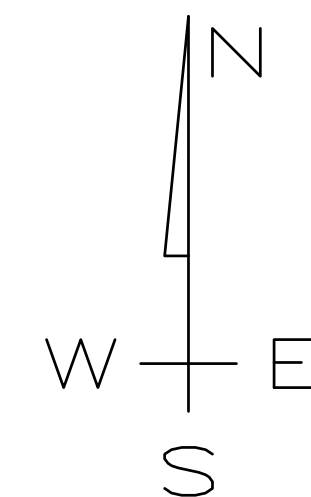
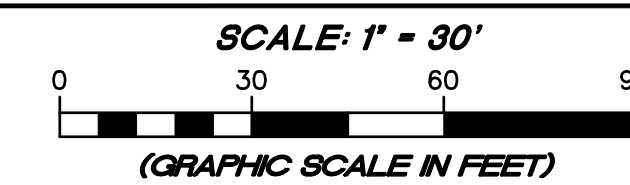
- PER COUNTY OF MARIN REQUIREMENTS, THE PROJECT IS REQUIRED TO COMPLY WITH THE BASMAA POST-CONSTRUCTION MANUAL. BECAUSE THE PROJECT (A SINGLE-FAMILY RESIDENCE) CREATES OR REPLACES MORE THAN 2,500 SF OF IMPERVIOUS AREA, IT IS REQUIRED TO IMPLEMENT AT LEAST ONE MEASURE TO REDUCE RUNOFF.
- THE PROJECT DESIGN INCORPORATES THE FOLLOWING BASMAA MEASURES:
 - MINIMIZE IMPERVIOUS SURFACES (PERVIOUS LANDSCAPE MATERIALS INSTEAD OF IMPERVIOUS HARDSCAPE)
 - REDUCE RUNOFF
 - CONSERVE NATURAL AREAS OF THE SITE
 - PROTECT SLOPES AGAINST EROSION
 - COMPLY WITH STREAM SETBACK



LEGEND

- PROPOSED IMPERVIOUS AREA
- PROPOSED SPA
- EXISTING IMPERVIOUS AREA TO REMAIN/REPLACED
- PROPOSED BIORETENTION

POST-CONSTRUCTION HYDROLOGY MAP



DRAINAGE LEGEND

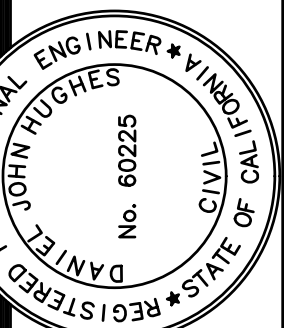
- OVERLAND FLOW DIRECTION
- TRIBUTARY BOUNDARY
- TRIBUTARY ID
- AREA SF
- AREA AC

BMP TABLE

BIORETENTION ID	BIORETENTION AREA
IMP-1	432
TOTAL PROVIDED	432
TOTAL REQUIRED (8% OF NEW IMPERVIOUS AREA)	432

REVISION	DESCRIPTION	BY	DATE
2	ADD REVISION 2	ERK	01/10/2025

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 515 CENTER STREET
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 (707) 393-0868



Dan Hughes
 DANIEL JOHN HUGHES
 PCE 60225
 DATE

ROSS RESIDENCE
PRE-POST HYDROLOGY MAPS
 APR 07/04-09
 21 GLENWOOD AVENUE
 ROSS CA 94857

JANUARY 10, 2025
 JOB NO. 273-24
 SHEET NO.



PROJECT DIRECTORY

OWNER: GLENWOOD ROSS LLC
135 MAIN STREET, SUITE 850
SAN FRANCISCO, CA 94105

ARCHITECT: SUTRO ARCHITECTS
1055 POST STREET
SAN FRANCISCO, CA 94109
CONTACT: STEPHEN SUTRO
415.956.3445

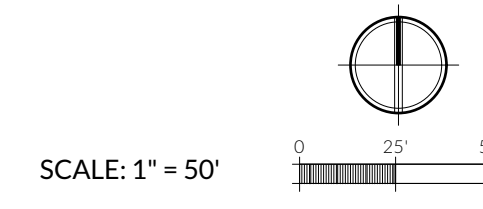
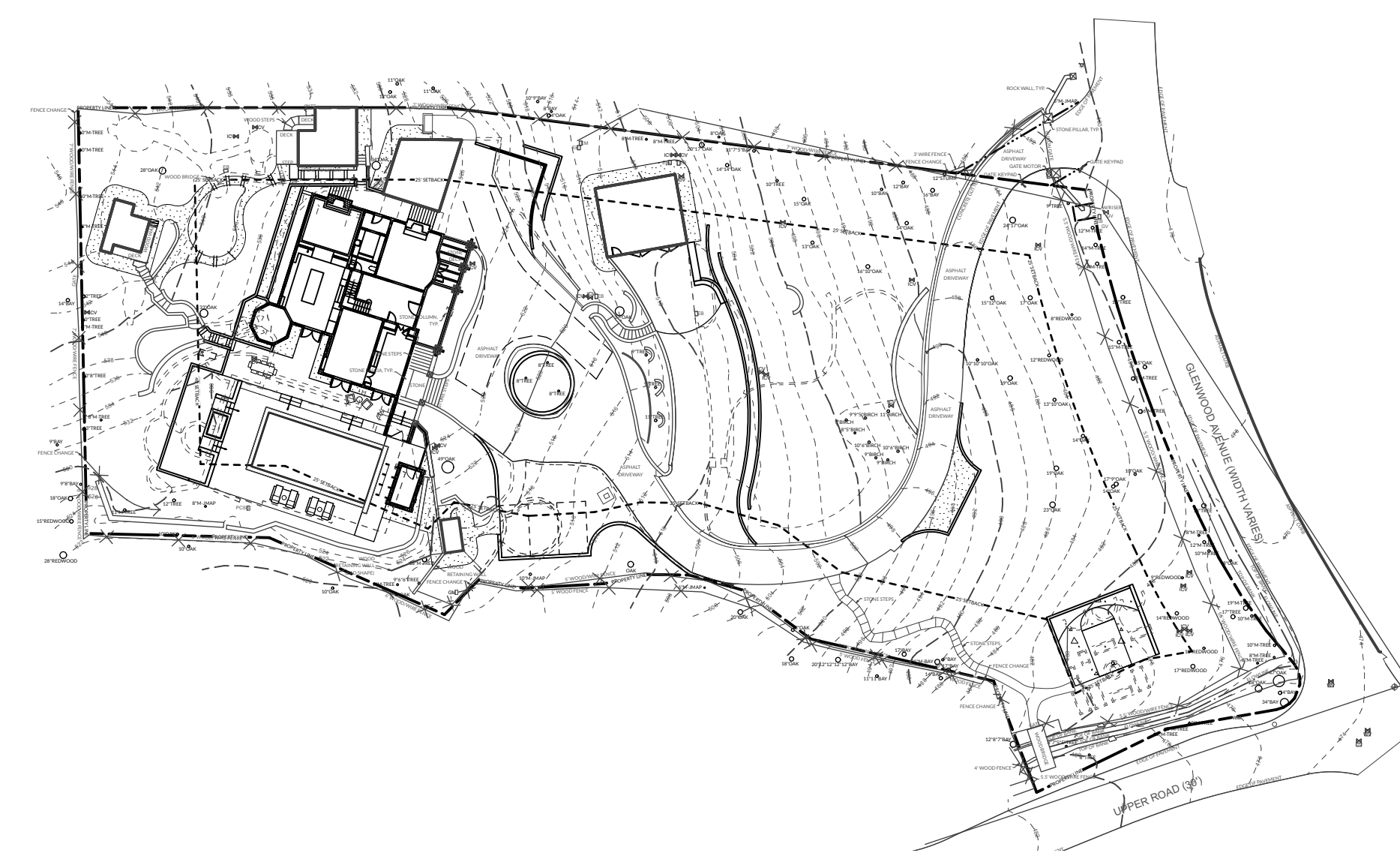
LANDSCAPE ARCHITECT: ARTERRA LANDSCAPE ARCHITECTS
88 MISSOURI STREET
SAN FRANCISCO, CA 94107
CONTACT: TONIA WALL
415.866.13100

CIVIL ENGINEER: MUNSSEL CIVIL ENGINEERING
513 CENTER STREET
HEALDSBURG, CA 95448
CONTACT: DAN HUGHES
707.775.8986

STRUCTURAL ENGINEER: HOLMES GROUP
235 MONTGOMERY STREET, SUITE 1250
SAN FRANCISCO, CA 94104
CONTACT: JAMIE STEINMAN
415.693.1600

SURVEYOR: LEA & BRAZE ENGINEERING
2495 INDUSTRIAL PKWY WEST
HAYWARD, CA 94545
510.887.4086

ARBORIST: ARBORSCIENCE
P.O. BOX 111
WOODACRE, CA 94973-0111
CONTACT: DR. KENT JULIN
415.419.5197



ABBREVIATION LEGEND

+/-	PLUS OR MINUS
ADD	ADDENDUM, ADDITON
A.D.	AREA DRAIN
ADD'L	ADDITIONAL
AGGR	AGGREGATE
AR	ARBORIST REPORT
ARCH	ARCHITECTURAL
BLDG	BUILDING
BO	BOTTOM OF
BW	BOTTOM OF WALL
CLR	CLEAR
CJ	CONTROL JOINT
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONT	CONTINUOUS
CTR	CENTER
DG	DECOMPOSED GRANITE
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DS	DOWNPOUT
DWGS	DRAWINGS
(E)	EXISTING
EA	EACH
EJ	EXPANSION JOINT
ENG	ENGINEER
EQ	EQUAL
EQUIP	EQUIPMENT
EXP	EXPANSION
EXT	EXTERIOR
FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
FIXT	FIXTURE
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOPLY	FACE OF PLYWOOD
FOS	FACE OF STUD
FS	FINISHED SURFACE
FTG	FOOTING
FUT	FUTURE
GALV	GALVANIZED
GFI	GROUND FAULT INTERRUPT
HB	HOSE BIBB
HDR	HEADER
HT	HEIGHT
ID	INSIDE DIAMETER
JST	JOIST
JT	JOINT
LA	LANDSCAPE ARCHITECT
LOW	LIMIT OF WORK
LSK	LANDSCAPE SKETCH
MAX	MAXIMUM
MFR	MANUFACTURER

MISC MISCELLANEOUS

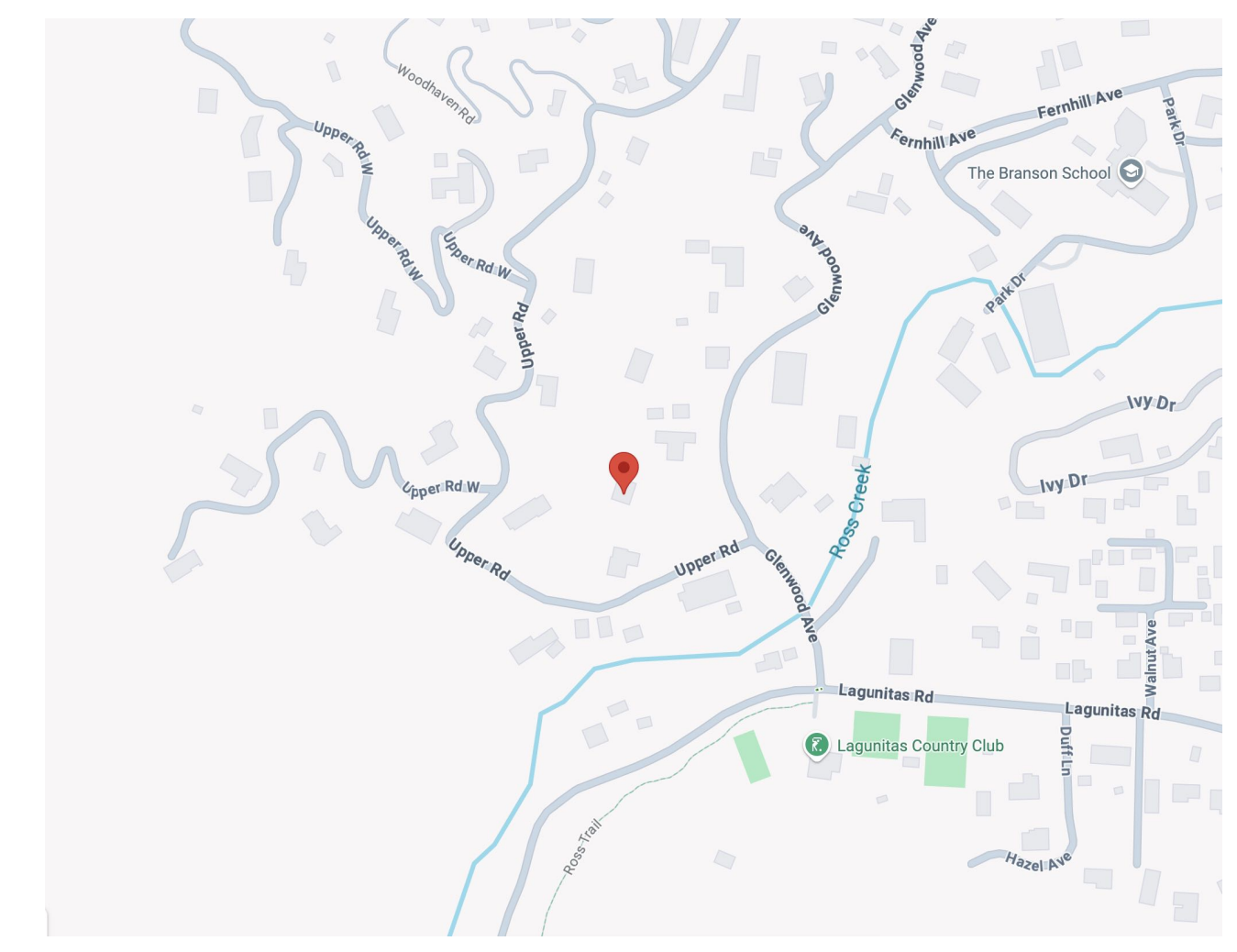
MIN	MINIMUM
MTL	METAL
(N)	NEW
NA	NOT APPLICABLE
NOM	NOMINAL
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
PA	PLANTED AREA
PIP	POURED IN PLACE
PL	PROPERTY LINE
PLYWD	PLYWOOD
POB	POINT OF BEGINNING
POC	POINT OF CONNECTION
POO	POINT OF ORIGIN
PP	POWER POLE
PSI	PER SQUARE INCH
PT	PRESSURE TREATED
PTDF	PRESSURE TREATED DOUGLAS FIR
RAD	RADIUS
REF	REFERENCE
REINF	REINFORCED
REV	REVISION
ROW	RIGHT OF WAY
RWD	REDWOOD
SAD	SEE ARCHITECTURAL DRAWINGS
SCD	SEE CIVIL DRAWINGS
SCHED	SCHEDULE
SECT	SECTION
SF	SQUARE FEET
SIM	SIMILAR
SMD	SEE MECHANICAL DRAWINGS
SPEC	SPECIFICATION
SPD	SEE PLUMBING DRAWINGS
SSD	SEE STRUCTURAL DRAWINGS
SS	STAINLESS STEEL
STD	STANDARD
STRUCT	STRUCTURAL
SQ	SQUARE
TBD	TO BE DETERMINED
TBR	TO BE REMOVED
T&G	TONGUE AND GROOVE
TC	TOP OF CURB
TME	TO MATCH EXISTING
TMA	TO MATCH ARCHITECTURE
TOC	TOP OF CONCRETE
TW	TOP OF WALL
TYP	TYPICAL
VIF	VERIFY IN FIELD
WL	WATER LEVEL
WM	WATER METER
W/O	WITHOUT

ROSS RESIDENCE
LANDSCAPE IMPROVEMENTS
21 GLENWOOD AVE.
ROSS, CALIFORNIA

PROJECT DESCRIPTION

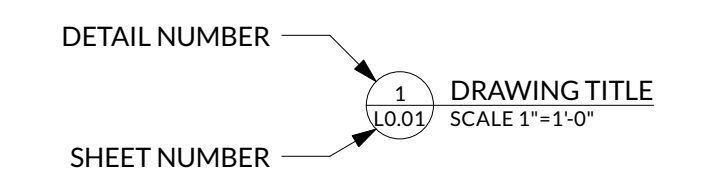
Renovation of existing residence with minor landscape improvements, including added lawn and spa

SITE LOCATION



SYMBOL LEGEND

	ALIGN
	STAIR RISERS
	HOSE BIBB
	GAS
	ELECTRICAL OUTLET
	SPOT ELEVATION
	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	CENTER LINE
	MATERIALS CALLOUT
	REVISION CLOUD & NUMBER
	SETBACK LINE
	TREE TO BE REMOVED



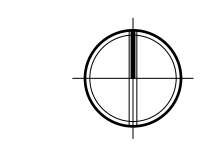
SHEET INDEX

L0.01	COVER SHEET
L0.10	SITE PLAN
L0.11	ENLARGED LAYOUT PLAN
L0.12	TREE PROTECTION PLAN
L0.30	VMP SITE PLAN
L0.31	VMP GRAPHIC PLAN
L0.32	PLANTING NOTES
L0.33	VMP EXISTING PLANTS
L0.34	PLANTING PLANS
L0.40	IRRIGATION NOTES
L0.41	IRRIGATION ZONE PLAN & WELO CALCULATIONS
L0.50	LIGHTING PLAN
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L1.20	SECTIONS & ELEVATIONS

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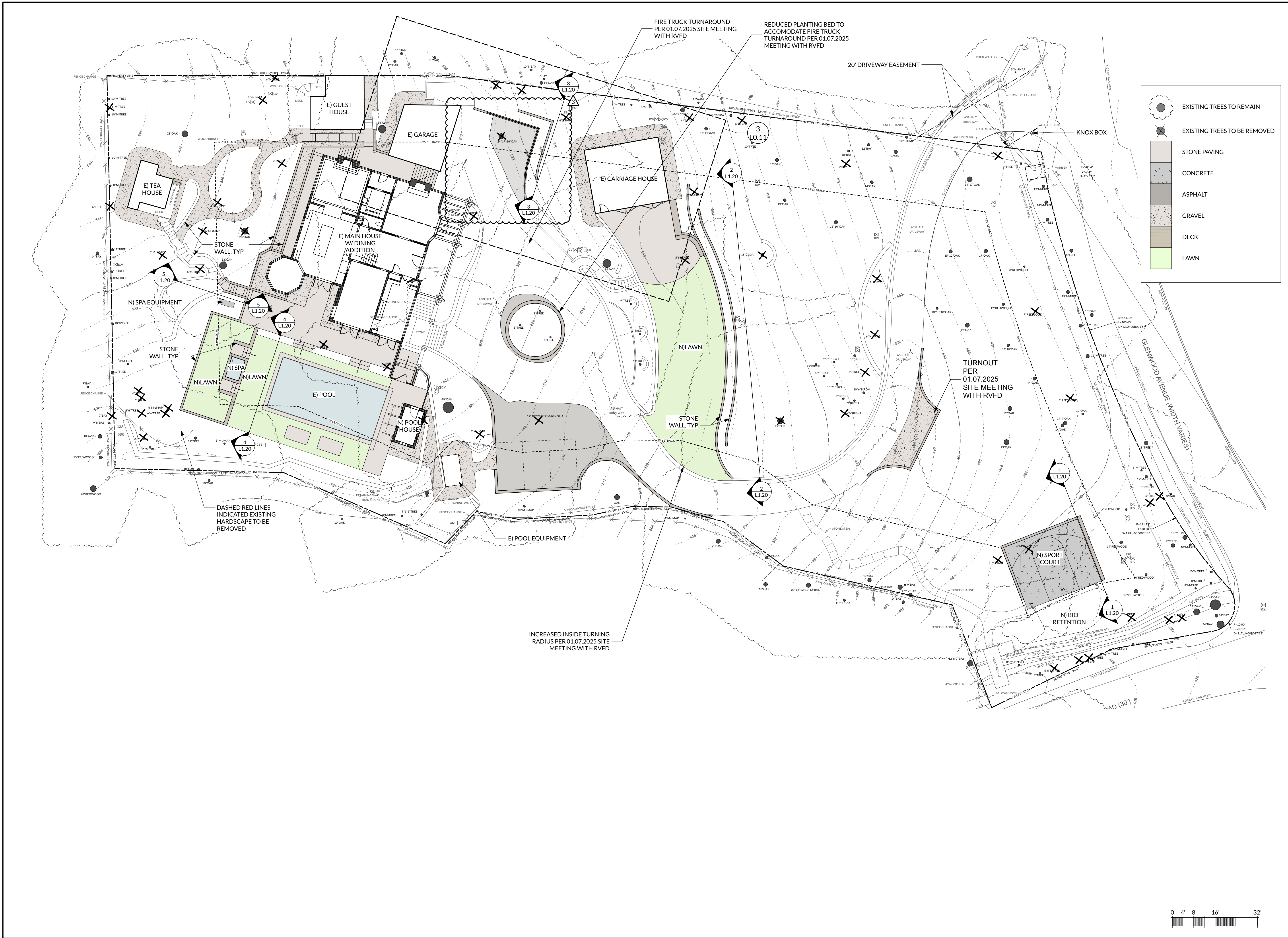
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SCALE: AS NOTED



COVER SHEET

L0.01



EXISTING TREES TO REMAIN

 EXISTING TREES TO BE REMOVED

 STONE PAVING

 CONCRETE

 ASPHALT

 GRAVEL

 DECK

 LAWN

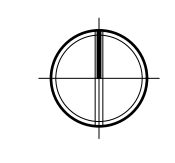
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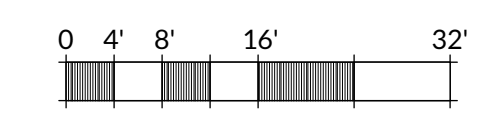
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SCALE: 1/16" = 1'0"



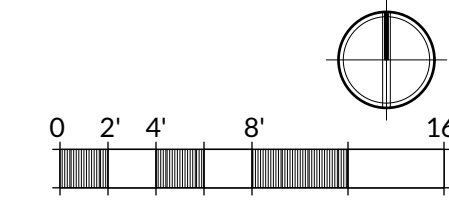
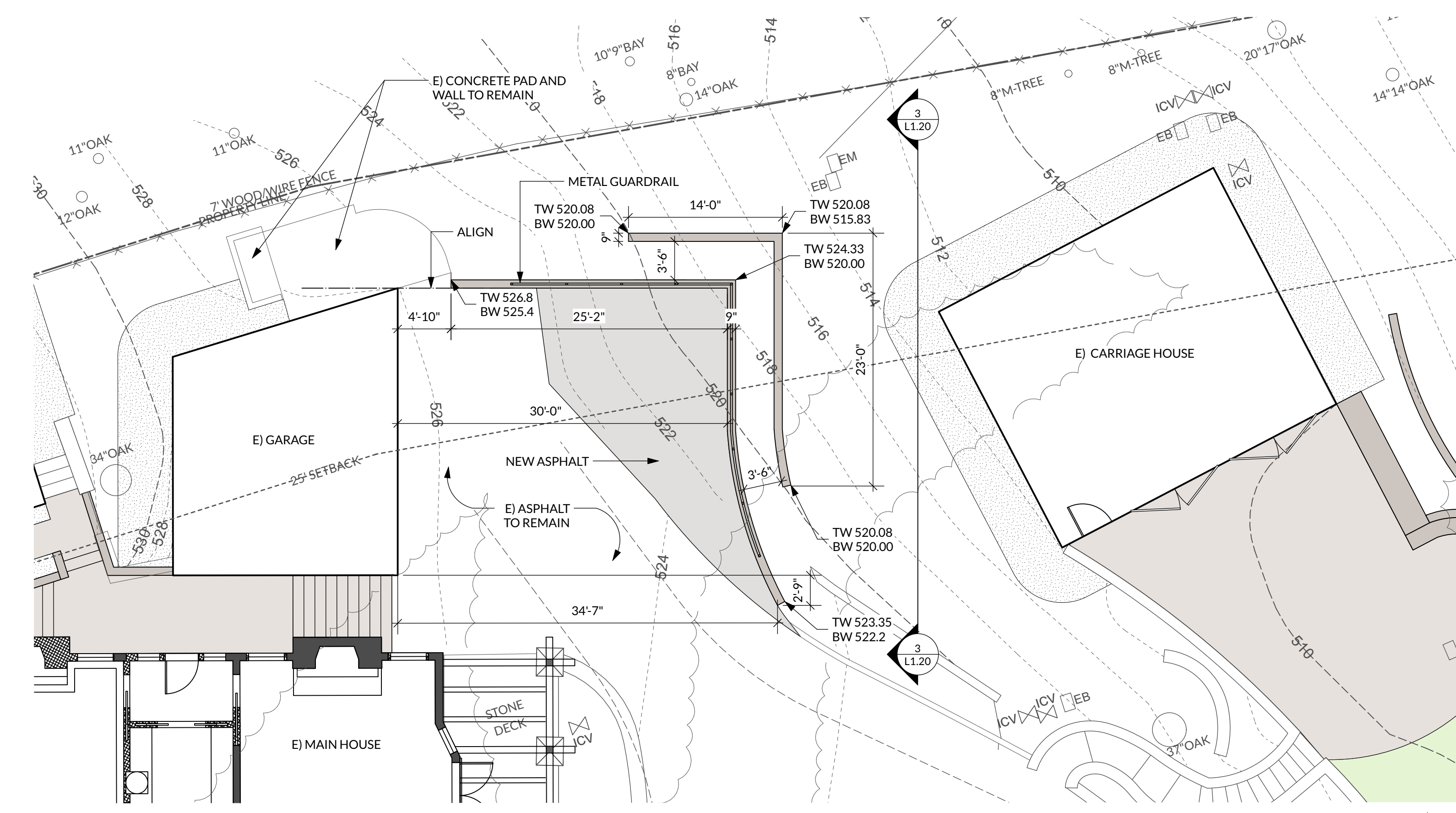
SITE PLAN

L0.10



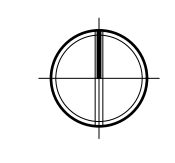


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ENLARGED LAYOUT PLAN

L0.11



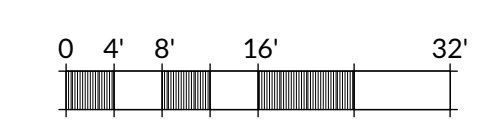
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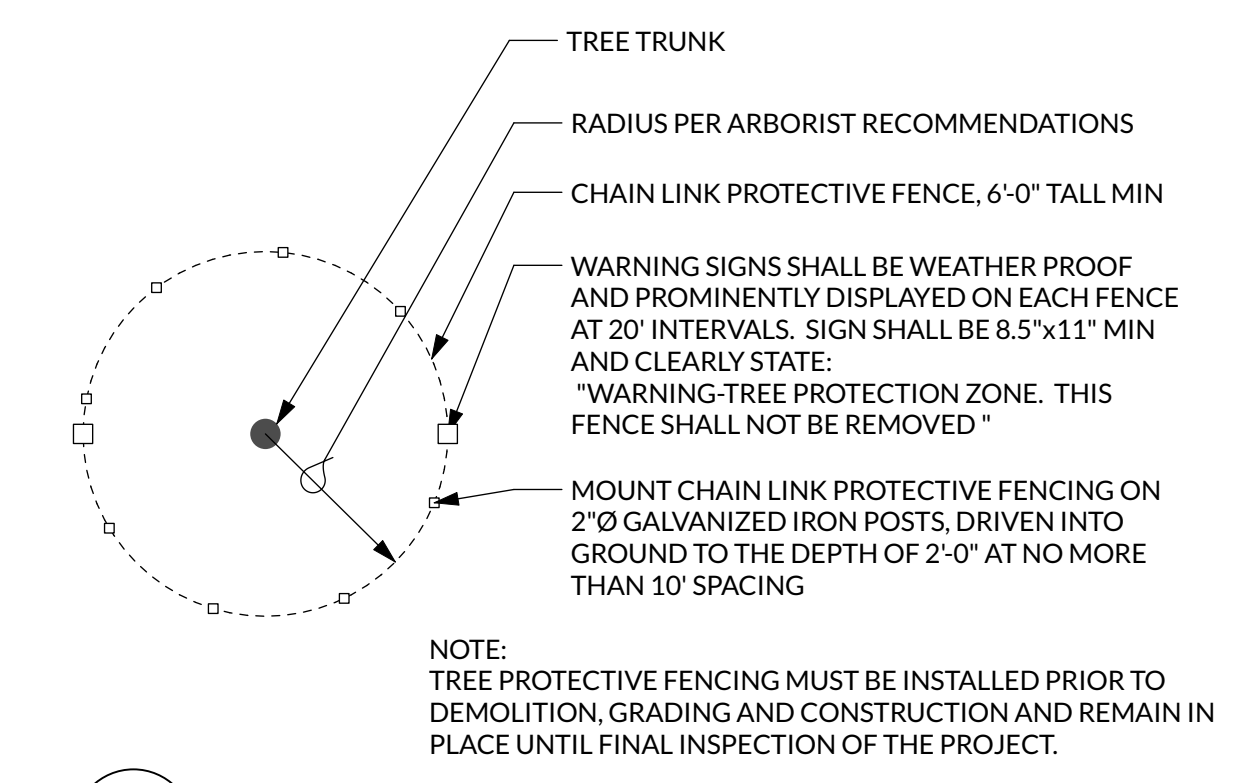
TREE PROTECTION PLAN

L0.12



TREE PROTECTION - CONSTRUCTION GUIDELINES:

- TREE PROTECTION FENCING MUST BE INSTALLED BEFORE ANY CONSTRUCTION BEGINS.
- HEAVY EQUIPMENT MAY NOT BE OPERATED WITHIN THE PROTECTION ZONE OF ANY TREE.
- INJURY TO THE TRUNKS OF THE TREES MUST BE DOCUMENTED AND REPAIRED IMMEDIATELY.
- WHEN TREE ROOTS ARE CUT BY NECESSITY, ROOTS 1" DIAMETER AND GREATER MUST BE SAW CUT AND TREATED.
- FILL SOIL MUST BE KEPT FROM UNDER THE TREE PROTECTION ZONE.
- NO STORAGE OR DUMPING OF TOOLS AND BUILDING MATERIAL MAY EXIST WITHIN THE DRIP LINE OF ANY TREE.
- NO MATERIAL OF ANY KIND MAY BE STORED WITHIN THE PROTECTION ZONE OF ANY TREE.
- ORIGINAL GRADE MUST BE LEFT UNDISTURBED WITHIN THE PROTECTION ZONE OF ANY TREE.
- ONLY MINOR UNAUTHORIZED PRUNING (PRUNING CUTS UNDER 1" DIAMETER) MAY BE PERFORMED BY CONTRACTORS.
- NOTHING MAY BE TIED AROUND TREES TO ACT AS AN ANCHOR, FULCRUM, OR ANY OTHER FUNCTION EXCEPT DEMARCATION OF SPACE WITH APPROPRIATE STRING.
- ANY EXPOSED ROOTS MUST BE COVERED WITH A MULCH MATERIAL.



1 TREE PROTECTION DETAIL, PLAN
N.T.S.

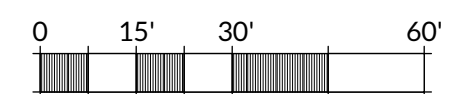
LEGEND

	(E) TREE TO BE REMOVED
	(E) TREE TO REMAIN
	AREA OF PROTECTION OR PER ARBORIST RECOMMENDATIONS



- PROPERTY LINE
- DEFENSIBLE SPACE/HOME IGNITION ZONE 0
- DEFENSIBLE SPACE/HOME IGNITION ZONE 1
- DEFENSIBLE SPACE/HOME IGNITION ZONE 2

NOTE: APPROXIMATE LOCATIONS OF NEIGHBORING BUILDINGS BASED ON MARIN PLANNING DEPARTMENT VICINITY MAPS AND GOOGLE EARTH.



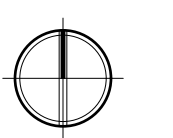
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SCALE: 1" = 30'-0"



SITE PLAN

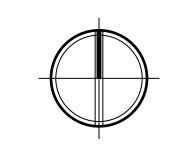
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VMP GRAPHIC PLAN

L0.31



LEGEND

- EXISTING TREES TO REMAIN
- EXISTING TREES TO BE REMOVED
- NEW STONE PAVING
- NEW CONCRETE
- NEW ASPHALT
- NEW GRAVEL
- NEW LAWN

E) VEGETATION SHALL BE TRIMMED TO WITHIN 10' HORIZONTALLY OF ROADWAYS, AND TREES SHALL BE TRIMMED AS NOT TO OVERHANG ROADWAYS AND PROVIDE 14' OF CLEARANCE VERTICALLY

REQUIREMENTS & PERSCRIPTIONS PER ZONE:

IMMEDIATE ZONE (ZONE 0): 0'-5'
THE IMMEDIATE ZONE EXTENDS 0-5' FROM YOUR HOUSE. ZONE 0 IS THE AREA CLOSEST TO YOUR HOUSE, INCLUDING THE STRUCTURE ITSELF, DECKS, OUTDOOR FURNITURE, AND THE OUTSIDE WALLS AND COVERINGS. THIS AREA IS MOST VULNERABLE, AND SHOULD BE MOST AGGRESSIVELY MAINTAINED FOR FIRE RESISTANCE.

- REMOVE ANY COMBUSTIBLE OUTDOOR FURNITURE.
- REPLACE JUTE OR FIBER DOOR MATS WITH FIRE RESISTANT MATERIALS.
- REMOVE OR RELOCATE ALL COMBUSTIBLE MATERIALS, INCLUDING GARBAGE AND RECYCLING CONTAINERS, LUMBER, TRASH, AND PATIO ACCESSORIES.
- CLEAN ALL FALLEN LEAVES AND NEEDLES REGULARLY. REPEAT OFTEN DURING FIRE SEASON.
- NO VEGETATION IS RECOMMENDED WITHIN 5' OF STRUCTURES.
- REMOVE TREE LIMBS THAT EXTEND INTO THIS ZONE. FIRE-PRONE TREE VARIETIES SHOULD BE REMOVED IF THEY EXTEND WITHIN 5' OF STRUCTURES.
- DO NOT STORE FIREWOOD, LUMBER, OR COMBUSTIBLES HERE, EVEN (ESPECIALLY) UNDER DECKS OR OVERHANGS. MOVE STORED COMBUSTIBLES INSIDE, OR AT LEAST 30' AWAY FROM STRUCTURES.
- USE ONLY INORGANIC, NON-COMBUSTIBLE MULCHES SUCH AS STONE OR GRAVEL. COMPOSTED MULCH AND LARGE BARK AND CHIPS (GREATER THAN 1/2" DIAMETER) MAY BE OK.

INTERMEDIATE ZONE (ZONE 1): 5'-30'
THE INTERMEDIATE ZONE FROM 5' TO 30' OUT FROM BUILDINGS, STRUCTURES, DECKS, ETC. KEEP ZONE 1 "LEAN, CLEAN, AND GREEN" AND EMPLOY CAREFUL LANDSCAPING TO CREATE BREAKS THAT CAN HELP INFLUENCE AND DECREASE FIRE BEHAVIOR.

- REMOVE ALL DEAD PLANTS, GRASS, AND WEEDS (VEGETATION).
- REMOVE DEAD OR DRY LEAVES AND PINE NEEDLES FROM YOUR YARD, ROOF AND RAIN GUTTERS.
- TRIM TREES REGULARLY TO KEEP BRANCHES A MINIMUM OF 10 FEET FROM OTHER TREES.
- REMOVE BRANCHES THAT HANG OVER YOUR ROOF AND KEEP DEAD BRANCHES 10 FEET AWAY FROM YOUR CHIMNEY.
- REMOVE VEGETATION AND ITEMS THAT COULD CATCH FIRE FROM AROUND AND UNDER DECKS.
- REMOVE FIRE-PRONE PLANTS, AND CHOOSE ONLY FIRE-RESISTANT VARIETIES. IRRIGATE REGULARLY.
- REMOVE LIMBS TO A HEIGHT OF 10' ABOVE THE GROUND (OR 1/3 THE HEIGHT OF THE TREE) TO PROVIDE CLEARANCE AND TO ELIMINATE A "FIRE LADDER".
- USE ONLY INORGANIC, NON-COMBUSTIBLE MULCHES SUCH AS STONE OR GRAVEL. COMPOSTED MULCH AND LARGE BARK AND CHIPS (GREATER THAN 1/2" DIAMETER) MAY BE OK.

EXTENDED ZONE (ZONE 2): 30'-100'
THE EXTENDED ZONE FROM 30' TO 100' (OR MORE, IF REQUIRED DUE TO STEEP SLOPES, NEARBY VEGETATION CONDITIONS, AND/OR YOUR LOCAL FIRE DEPARTMENT). THE GOAL HERE IS NOT TO ELIMINATE FIRE BUT TO INTERRUPT FIRE'S PATH AND KEEP FLAMES SMALLER AND ON THE GROUND. THIS ZONE SHOULD INCLUDE AT A MINIMUM:

- CUT OR MOW ANNUAL GRASS DOWN TO A MAXIMUM HEIGHT OF 4 INCHES.
- CREATE HORIZONTAL SPACING BETWEEN SHRUBS, TREES AND VERTICAL SPACING BETWEEN GRASS, SHRUBS AND TREES.
- REMOVE FALLEN LEAVES, NEEDLES, TWIGS, BARK, CONES, AND SMALL BRANCHES. HOWEVER, THEY MAY BE PERMITTED TO A DEPTH OF 3 INCHES IF EROSION CONTROL IS AN ISSUE.

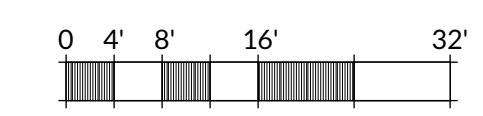
ACCESS ZONE (ZONE 3): 0'-10'
EXTENDS 10 FEET HORIZONTALLY FROM THE EDGE ON EITHER SIDE OF THE ROAD OR DRIVEWAY.

- WITHIN THIS ZONE, PLANTINGS SHALL BE FIRE RESISTANT AND SHALL NOT EXTEND WITHIN THE 14 FOOT VERTICAL.
- CLEARANCE ABOVE THE SURFACE OF THE ROADWAY OR DRIVEWAY, AS REQUIRED FOR EMERGENCY ACCESS.
- ALL LARGE BARK AND CHIPS SHALL MEET THE REQUIREMENTS FOR SEPARATION AS STATED IN THE ZONE 2 ABOVE

VEGETATION MANAGEMENT PLAN NARRATIVE

1. EXISTING CONDITIONS
 - A. THERE ARE CURRENTLY MATURE COAST LIVE OAKS, REDWOOD TREES, BAY TREES, JAPANESE MAPLES, BIRCH TREES, CEDAR, ACACIA, MAGNOLIA, MAYTEN TREES, FRUIT TREES, BAMBOO AND A FEW OTHER MISCELLANEOUS NATIVE AND NON-NATIVE SHRUB SPECIES LOCATED THROUGHOUT THE SITE.
2. PROPOSED SCOPE
 - A. THE INTENT OF THIS PLAN IS TO PROPERLY MAINTAIN THE MATURE TREES ON SITE, WITH THE EXCEPTION OF THOSE FEW TREES THAT CONFLICT WITH PROPOSED DEVELOPMENT, AS NOTED ON THE PLAN. BAMBOO AND ENGLISH IVY SHALL BE REMOVED. MAINTENANCE SHALL INCLUDE SELECTIVE PRUNING AND REMOVAL OF DEAD MATERIAL PER FIREWISE STANDARDS AND EXISTING SHRUBS WILL BE THINNED OR REMOVED TO PROVIDE A FIRE BREAK 0-30' FROM THE HOME.
3. FUTURE PLANTING
 - A. ANY FUTURE PLANTINGS THROUGHOUT THE SITE WILL INCLUDE FIRE-RESISTANT, IRRIGATED SHRUBS, PERENNIALS, AND GROUND COVERS AS IN THE FIRESAFE MARIN PLANTING LISTS LOCATED AT WWW.FIRESAFEMARIN.ORG/PLANTS
4. LONG TERM MAINTENANCE SCHEDULE AND SAFETY PRACTICES
 - A. ALL FIRE PRONE FUELS AND DEAD MATERIAL WILL BE REMOVED WITHIN 100' OF THE HOME.
 - B. REMOVE BRANCHES BENEATH LARGE TREES FOR A 6-FOOT MINIMUM CLEARANCE.
 - C. NEEDLES AND LEAVES AND OTHER COMBUSTIBLE DEBRIS AND LITTER SHALL BE REMOVED FROM ROOFS AND GUTTER AT MINIMUM TWICE YEARLY.
 - D. ALL WEEDS AND GRASSES SHALL BE CUT REGULARLY TO A HEIGHT OF 4" OR LESS.
 - E. VEGETATION SHALL BE TRIMMED TO WITHIN 10' HORIZONTALLY OF ROADWAYS, AND TREES SHALL BE TRIMMED AS NOT TO OVERHANG ROADWAYS AND PROVIDE 14' OF CLEARANCE VERTICALLY.
 - F. ALL DEAD AND DYING VEGETATION SHALL BE REMOVED SEASONALLY TO REDUCE VEGETATION VOLUME AND LADDER FUELS.
 - G. COORDINATE WITH ADJACENT PROPERTY OWNERS TO MAINTAIN TREE CANOPIES, VEGETATION AND LADDER FUELS ON AN ANNUAL BASIS.
 - H. NO NATIVE GRASSES SHALL BE PLANTED WITHIN HOME IGNITION ZONES 1 AND 2.
 - I. ALL PLANTED AREAS INSIDE HOME IGNITION ZONES 1 AND 2 SHALL BE IRRIGATED.
 - J. ALL PLANTINGS SHALL BE SELECTED IN COORDINATION WITH THE FIRESAFE MARIN PLANTING LIST LOCATED AT WWW.FIRESAFEMARIN.ORG/PLANTS. OTHER FIRE RESISTANT PLANTS CAN BE UTILIZED WITH PRIOR APPROVAL OF THE FIRE CODE OFFICIAL.
 - K. REGARDLESS OF PLANT SELECTION, SHRUBS SHALL BE SPACED SO THAT NO CONTINUITY EXISTS BETWEEN GROUND FUELS AND TREE CROWNS, SUCH THAT A GROUND FIRE WILL NOT EXTEND INTO THE TREE CANOPY.

VEGETATION MANAGEMENT IN DEFENSIBLE SPACE / HOME IGNITION ZONES	
	IMMEDIATE ZONE (ZONE 0): 0-5' GRAVEL, REMOVE EXISTING VEGETATION
	IMMEDIATE ZONE (ZONE 1): 5-30' COMPOSTED MULCH OR LARGE BARK AND CHIPS (GREATER THAN 1/2" DIAMETER), PLANTS IRRIGATED BY DRIPLINE W/ EMITTERS
	EXTENDED ZONE (ZONE 2): 30-100' COMPOSTED MULCH OR LARGE BARK AND CHIPS (GREATER THAN 1/2" DIAMETER), PLANTS IRRIGATED BY DRIPLINE W/ EMITTERS
	ACCESS ZONE (ZONE 3): 0-10' GRAVEL OR GROUND COVER (LESS THAN 4" TALL), REMOVE EXISTING VEGETATION





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PLANTING NOTES
REFER TO GENERAL LANDSCAPE NOTES

GENERAL
THIS PLANTING DESIGN APPLIES HYDROZONE/XERISCAPE PRINCIPLES INCLUDING NATIVE AND LOW WATER USE PLANTS GROUPED WITH LIKE WATER AND SUN NEEDS. ANY SUBSTITUTIONS OR REVISIONS SHALL COMPLY WITH THESE PRINCIPLES AND BE APPROVED BY THE LA.

AS A SEPARATE LINE ITEM ON THE BID FORM, INCLUDE AN ALLOWANCE OF 15% FOR ADDITIONAL PLANTS.

PREPARATION
PLANTING SHALL BE PERFORMED BY PERSONS FAMILIAR WITH THIS TYPE OF WORK AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR AMENDING SOIL IN ALL PLANTING AREAS AND BRINGING ALL PLANTING AREAS UP TO FINISH GRADE. SOIL MUST BE AMENDED BEFORE PLANTS ARE SET OUT.

IMPORTED TOPSOIL SHALL BE APPROVED BY LA. CONTRACTOR TO PROVIDE SOURCE AND TESTING DATA PRIOR TO DELIVERY TO THE SITE.

NOTIFY LA IF GOPHER BASKETS ARE ADVISED.

HARDSCAPE, IRRIGATION MAIN LINE AND EDGERS ARE TO BE INSTALLED AND ACCEPTED BY LA PRIOR TO SETTING PLANTS.

SOIL AMENDMENT
PROVIDE 2" COVER OF DIESTIL TURKEY MANURE (LYNGSO) OR APPROVED EQUAL, OVERALL PLANTED AREAS. INCORPORATE EVENLY INTO THE TOP 12" OF SOIL. AMEND PLANT PITS WITH SOIL MIX.

DO NOT TILL SOIL UNDER EXISTING TREE CANOPIES. AMEND NEW PLANT PITS ONLY.

SOIL MUST BE AMENDED PRIOR TO DELIVERY AND PLACEMENT PLANTS ON SITE. BILL OF LADING FOR AMENDMENTS SHALL SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL.

PLANTING
SELECT PLANT MATERIAL THAT IS HEALTHY, VIGOROUS, NATURAL IN FORM AND FREE OF PESTS AND DISEASE. ALL PLANT MATERIAL TO BE APPROVED BY THE LA PRIOR TO PLANTING.

ALL TREES SHALL BE ACCEPTED OR SELECTED BY LA PRIOR TO DELIVERY TO THE SITE. CONFIRM WITH LA METHOD OF APPROVAL; PHOTO APPROVAL OR NURSERY INSPECTION.

PLANT SELECTION HAS BEEN CAREFULLY COORDINATED WITH THE OWNER, WITH SPECIFIC VARIETIES BEING SELECTED FOR SPECIFIC REASONS. CONFIRM FINAL VARIETIES PRIOR TO ORDERING. IF SPECIES IS NOT INDICATED ON THE PLANT LIST, CONFIRM WITH LA PRIOR TO ORDERING. IF PLANT MATERIAL SPECIFIED IS NOT AVAILABLE, LA MAY SELECT ALTERNATIVE VARIETIES. NO UNAPPROVED SUBSTITUTIONS WILL BE ACCEPTED ON SITE.

PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD BY THE LA BEFORE THE MAINTENANCE PERIOD BEGINS. LA RESERVES THE RIGHT TO MAKE MINOR ADJUSTMENTS IN TREE LOCATIONS AFTER PLANTING AND AT NO COST TO THE OWNER.

PLANT TREES BEFORE CONTAINER STOCK. PAINT OUT OR STAKE LOCATIONS OF TREES FOR APPROVAL PRIOR TO DIGGING TREE PITS.

DEEPLY SOAK EACH PLANT IN THE CONTAINER, PRIOR TO PLANTING. THEN THOROUGHLY SOAK THE PLANT PIT, AFTER PLANTING.

PLANT CROWNS ARE TO BE SET SLIGHTLY HIGHER THAN EXISTING GRADE, TO ENSURE POSITIVE DRAINAGE AND TO AVOID CROWN ROT. TREES ARE TO BE SET HIGHER THAN EXISTING GRADE TO ACCOMMODATE FOR SETTLING. CONFIRM HEIGHT WITH LA. ENSURE THAT SOIL IS BACKFILLED UNIFORMLY WITH NO AIR POCKETS BETWEEN ROOTBALL AND NATIVE SOIL.

REMOVE ALL EXISTING STAKES, TIES AND LABELS FROM PLANT MATERIAL, AT TIME OF PLANTING. LEAVE LABELS ON ROSES AND FRUIT TREES.

DOUBLE STAKE ALL TREES, 15 GALLON AND 24" BOX, WITH RUBBER & WIRE TREE TIES. USE THREE STAKES FOR LARGER TREES.

MULCH
FINISH ALL PLANTER AREAS WITH 3" MINIMUM OF COMPOSTED MULCH OR LARGE BARK AND CHIPS (GREATER THAN 1/2" DIAMETER). CONFIRM WITH LA PRIOR TO DELIVERY TO THE SITE.

LEAVE PLANTERS IN A CLEAN, SMOOTH CONDITION. HOLD MULCH BACK 2" FROM CROWN OF TREES. DO NOT BURY CROWNS.

ALL IRRIGATION LINE SHALL BE COVERED AND NO VISIBLE.

HILLSIDE PLANTINGS (25% SLOPE AND GREATER)
PREPARE PLANT PITS AS DETAILED AND INSTALL PLANTS AND SUB IRRIGATION LINES.

INSTALL JUTE MESH AFTER PLANTING OF LARGER CONTAINER PLANTINGS AND INSTALLATION OF SUB IRRIGATION.

PLANT SMALLER PLANT MATERIAL (1 GALLON AND SMALLER) AND SET SURFACE IRRIGATION AFTER INSTALLATION OF JUTE MESH.

MULCH ENTIRE AREA AFTER ALL PLANTING, IRRIGATION AND JUTE MESH ARE INSTALLED. COMPLETELY COVER MESH WITH A MINIMUM 3" OF MULCH.

SOD INSTALLATION
PREPARE SOIL AS DETAILED, INCLUDING SAND LAYER AND GOPHER WIRE.

CONFIRM SOD TYPE, PRIOR TO ORDERING.

THOROUGHLY SOAK AND ROLL SOIL TO SETTLE AND SMOOTH, PRIOR TO INSTALLATION OF SOD. CONFIRM FINISH GRADE, RELATIVE TO PAVED AREAS, PRIOR TO INSTALLATION OF SOD.

KEEP SOD IRRIGATED AND MOWED THROUGH 30-DAY ESTABLISHMENT PERIOD.

SEEDING
TBD

SUBMITTALS
A. CONTRACTOR TO SUBMIT PLANT LIST PRIOR TO PURCHASING

B. CONTRACTOR TO PROVIDE BILL OF LADING/RECEIPTS FOR SOIL AMENDMENTS AND MULCH, PRIOR TO PLACING PLANTS.

C. CONTRACTOR TO SUBMIT COPIES OF SHIPPING ORDERS FOR ALL PLANT MATERIAL, TO CONFIRM VARIETIES OF PLANTS SHIPPED.

AT COMPLETION
REFER TO IRRIGATION NOTES & SPECIFICATIONS. ENSURE THAT IRRIGATION EMITTERS ARE PROPERLY PLACED SO THAT ROOT BALLS RECEIVE WATER AND CROWN OF PLANT WILL NOT ROT.

THE CONTRACTOR SHALL MAINTAIN ALL PLANTED STOCK FOR A PERIOD OF 30 DAYS AFTER FINAL ACCEPTANCE BY THE OWNER.

THE CONTRACTOR SHALL GUARANTEE A PERIOD OF 90 DAYS FOR CONTAINER STOCK AND TREES IN 24" BOX TREES AND LARGER SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE BY THE OWNER.

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SCALE: N/A

PLANTING NOTES

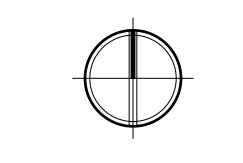
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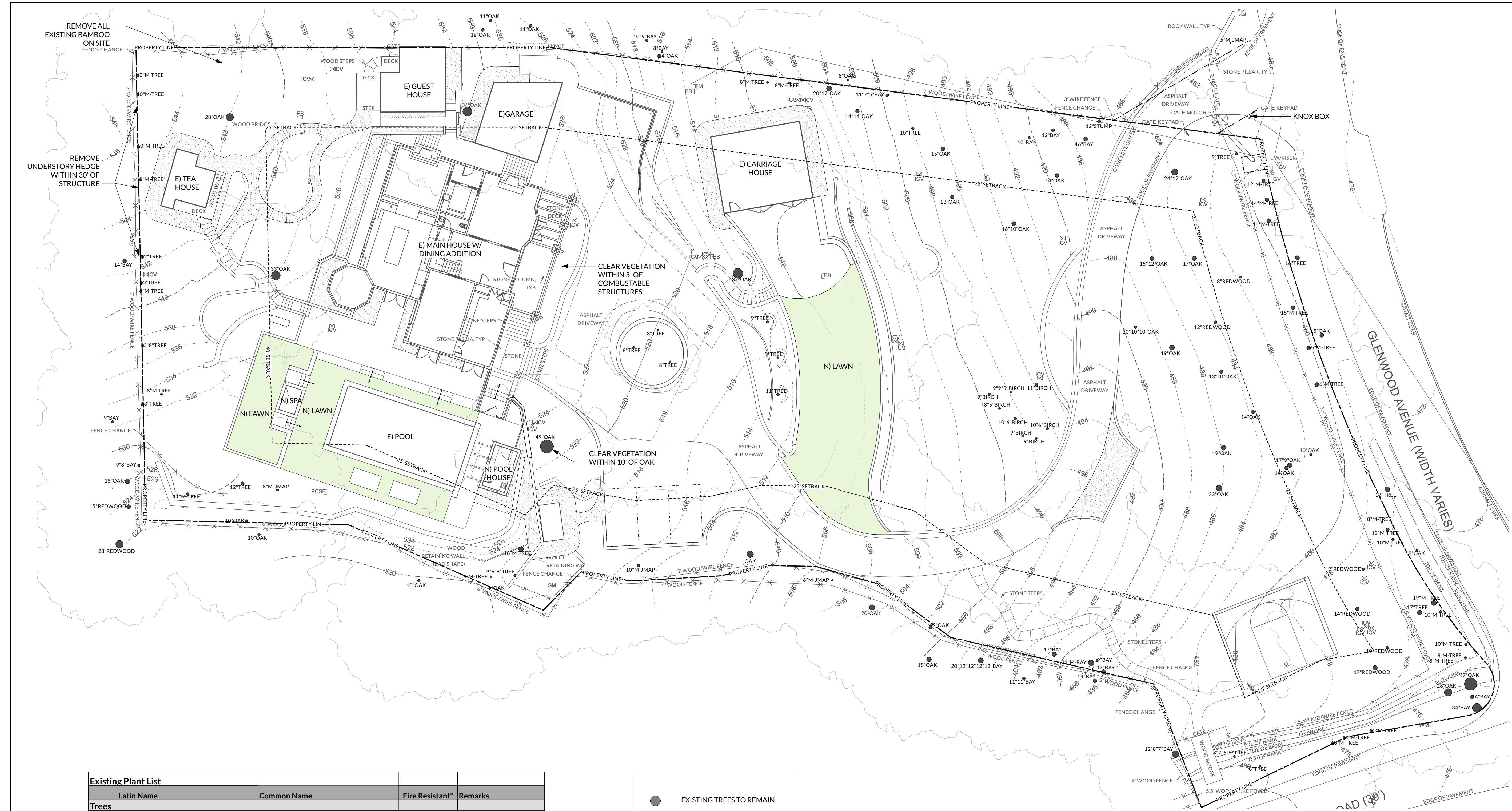
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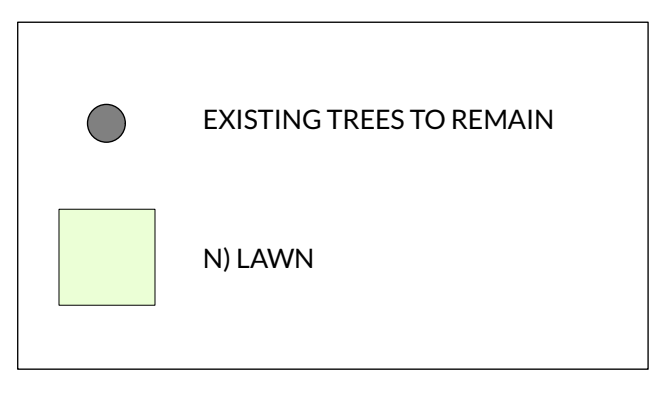


VMP EXISTING PLANTS

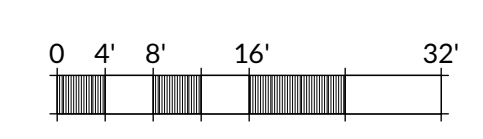
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Existing Plant List			
Latin Name	Common Name	Fire Resistant*	Remarks
Trees			
Quercus agrifolia	Coast Live Oak	not listed	Prune
Quercus lobata	Valley Oak	not listed	Prune
Sequoia sempervirens	Coast Redwood	not listed	Prune, Remove <8" DBH
Acacia spp.	Acacia	NO	Prune, Remove <8" DBH
Acer palmatum	Japanese Maple	YES	Remove
Magnolia grandiflora	Magnolia	not listed	Remove
Betula pendula	Silver Birch	not listed	Prune, Remove <8" DBH
Lagerstroemia indica	Crape Myrtle	not listed	Remove
Cedrus deodara	Deodar Cedar	NO	Remove
Maytenus boaria	Mayten	not listed	Irrigate, Prune
Chionanthus retusus	Chinese Fringe Tree	not listed	Irrigate, Prune
Umbellularia californica	California Bay	NO	Prune, Remove <8" DBH
Cupressus sempervirens	Italian Cypress	NO	Remove
Podocarpus gracillior	Fern Pine	YES	Remove
Shrubs			
Bambusa spp.	Bamboo	NO	Remove
Pittosporum tenuifolium 'Silver Sheen'	Silver Sheen Kohuhu	not listed	Remove
Rhododendrom spp.	Azalea	YES	Remove
Perennials			
Dietes spp.	Fortnight Lily	YES	Irrigate
Pittosporum tenuifolium 'Golf Ball'	Golf Ball Kohuhu	not listed	Remove
Salvia leucantha	Mexican Sage	not listed	Remove
Colomena pulchrum	Breath of Heaven	NO	Remove
Lavandula stoeches	Spanish Lavender	YES	Remove



* FIRE RATING BASED ON LISTS AVAILABLE ON FIRE SAFE MARIN WEBSITE





ROSS RESIDENCE
21 GLENWOOD AVE.
ROSS, CALIFORNIA 94957
APN: 073-121-09

DATE:	ISSUE:
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01.10.2025	ADR REVISION 2
02.03.2025	TOWN COUNCIL REVIEW

SCALE: AS NOTED

PLANTING PLAN

L0.34



Proposed Plant List									
Image	Qty	ID	Latin Name	Common Name	Scheduled Size	Fire Resistant*	New or Existing	WUCOLS	Remarks
Trees									
	5	CER	<i>Cercis occidentalis</i>	Western Redbud	24" Box	not listed	New	VL	---
	9	PRB	<i>Prunus caroliniana</i> 'Bright N Tight'	Bright N Tight Carolina Laurel	24" Box	YES	New	L	Irrigate
	2	QAS	<i>Quercus agrifolia</i>	Coast Live Oak	24" Box	not listed	New	VL	Irrigate
	2	QUL	<i>Quercus lobata</i>	Valley Oak	24" Box	not listed	New	L	Irrigate
Shrubs									
	38	CCA	<i>Carpenteria californica</i> 'Elizabeth'	Elizabeth Bush Anemone	5 Gal	YES	New	M	Irrigate
	32	CEH	<i>Ceanothus griseus</i> horizontalis	Carmel Creeper	5 Gal	not listed	New	L	Irrigate
	14	COR	<i>Correa x</i> 'Ivory Bells'	Ivory Bells Australian Fuchsia	1 Gal	not listed	New	L	Irrigate
	16	DAP	<i>Daphne odora</i>	Fragrant Daphne	5 Gal	not listed	New	L	Irrigate
	2	HQM	<i>Hydrangea quercifolia</i> 'Munchkin'	Munchkin Oak Leaf Hydrangea	5 Gal	not listed	New	M	Irrigate
	19	LOR	<i>Loropetalum chinense</i>	Chinese Fringe Flower	5 Gal	not listed	New	L	Irrigate
	1	RSB	<i>Rhamnus californica</i> 'Mound San Bruno'	Mound San Bruno Coffeeberry	5 Gal	not listed	New	L	Irrigate
	9	ROI	<i>Rosa</i> 'Iceberg'	Iceberg Shrub Rose	5 Gal	not listed	New	M	Irrigate
Perennials									
	17	GCB	<i>Geranium x cantabrigiense</i> 'Biokovo'	Biokovo Cranesbill	1 Gal	YES	New	M	Irrigate
	20	HAC	<i>Helleborus argutifolius</i>	Corsican Hellebore	1 Gal	not listed	New	L	Irrigate
	76	IRC	<i>Iris douglasiana</i> 'Canyon Snow'	Douglas Iris	1 Gal	YES	New	L	Irrigate
	18	MPC	<i>Myoporum parvifolium</i>	Creeping Myoporum	1 Gal	not listed	New	L	Irrigate
	7	POL	<i>Polystichum munitum</i>	Western Sword Fern	1 Gal	YES	New	M	Irrigate
	18	SPA	<i>Salvia spathacea</i>	Hummingbird Sage	1 Gal	not listed	New	L	Irrigate
Ornamental Grasses									
	25	CTU	<i>Carex tumulicola</i>	Foothill Sedge	1 Gal	not listed	New	L	Irrigate
	36	PBL	<i>Lomandra 'Platinum Beauty'</i>	Platinum Beauty Lomandra	1 Gal	not listed	New	L	Irrigate



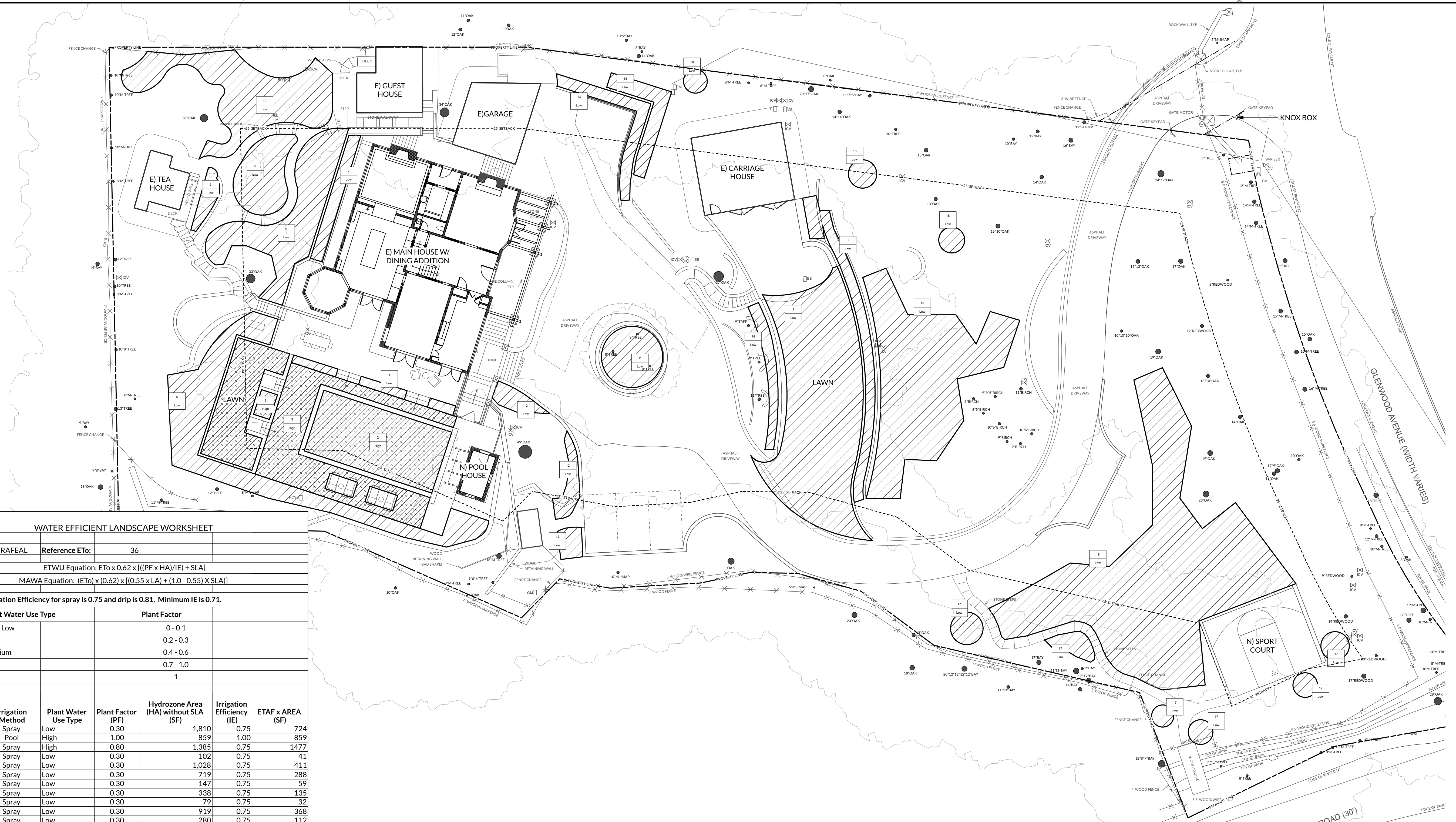
ROSS RESIDENCE
21 GLENWOOD AVE.
ROSS, CALIFORNIA 94957
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SCALE: 1/16" = 1'-0"

IRRIGATION ZONE PLAN/WELO CALCULATIONS

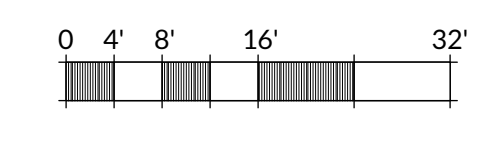
L0.41



WATER EFFICIENT LANDSCAPE WORKSHEET						
City:	SAN RAFAEL	Reference ETo:	36			
ETWU Equation: $ETo \times 0.62 \times [(PF \times HA)/IE] + SLA$						
MAWA Equation: $(ETo) \times (0.62) \times [(0.55 \times LA) + (1.0 - 0.55) \times SLA]$						
Irrigation Efficiency for spray is 0.75 and drip is 0.81. Minimum IE is 0.71.						
Plant Water Use Type		Plant Factor				
Very Low		0 - 0.1				
Low		0.2 - 0.3				
Medium		0.4 - 0.6				
High		0.7 - 1.0				
SLA		1				
Hydrozone Number	Irrigation Method	Plant Water Use Type	Plant Factor (PF)	Hydrozone Area (HA) without SLA (SF)	Irrigation Efficiency (IE)	ETAF x AREA (SF)
Zone 1	Spray	Low	0.30	1,810	0.75	724
Zone 2	Pool	High	1.00	859	1.00	859
Zone 3	Spray	High	0.80	1,385	0.75	1,477
Zone 4	Spray	Low	0.30	102	0.75	41
Zone 5	Spray	Low	0.30	1,028	0.75	411
Zone 6	Spray	Low	0.30	719	0.75	288
Zone 7	Spray	Low	0.30	147	0.75	59
Zone 8	Spray	Low	0.30	338	0.75	135
Zone 9	Spray	Low	0.30	79	0.75	32
Zone 10	Spray	Low	0.30	919	0.75	368
Zone 11	Spray	Low	0.30	280	0.75	112
Zone 12	Spray	Low	0.30	255	0.75	102
Zone 13	Spray	Low	0.30	386	0.75	154
Zone 14	Spray	Low	0.30	479	0.75	192
Zone 15	Spray	Low	0.30	1,568	0.75	627
Zone 16	Spray	Low	0.30	3,044	0.75	1,218
Zone 17	Spray	Low	0.30	351	0.75	140
Zone 18	Spray	Low	0.30	152	0.75	61
				Total:	13,901	6,999
				Sum	13,901	
Results						
MAWA =	169,701	ETWU =	155,353 Gallons			
			20,768 Cubic Feet			
			208 HCF			
			0.48 Acre-feet			
			0.16 Millions of Gallons			
ETWU complies with MAWA						
ETAF Calculations						
Regular Landscape Areas						
Total ETAF x Area	6,999					
Average ETAF	0.50					
ETAF is below .55						
All Landscape Areas						
Total ETAF x Area	6,999.13					
Total Area	13,901					
Sitewide ETAF	0.50					

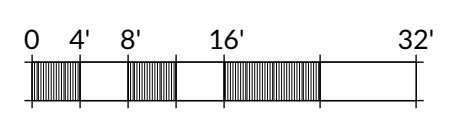
LEGEND

- LOW WATER USE
- MODERATE WATER USE
- HIGH WATER USE
- SLA - SPECIAL LANDSCAPE AREA





LANDSCAPE LIGHTING LEGEND						
SYMBOL	QTY	DESCRIPTION	MANUFACTURER	MODEL SPEC	FINISH	NOTES
▲ L1	54	L1 - PATH LIGHT	SPJ LIGHTING	SPJ18-16	TBD	
▲ L2	8	L2 - STEP LIGHT	SPJ LIGHTING	SPJ-SC-9	TBD	
▲ L3	28	L3 - IN-GRADE LIGHT	SPJ LIGHTING	SPJ-GDG-LB1	TBD	
▲ L4	15	L4 - WALL WASH	SPJ LIGHTING	SPJ-MSL2	TBD	
▲ L5	2	L5 - SPA LIGHT	JANDY	JLUWW6W150	TBD	



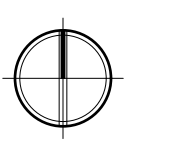
ARTERRA
 LANDSCAPE ARCHITECTS
 88 MISSOURI SAN FRANCISCO 94107
 415.861.3100
 artterra.com



ROSS RESIDENCE
 21 GLENWOOD AVE.
 ROSS, CALIFORNIA 94957
 APN: 073-121-09

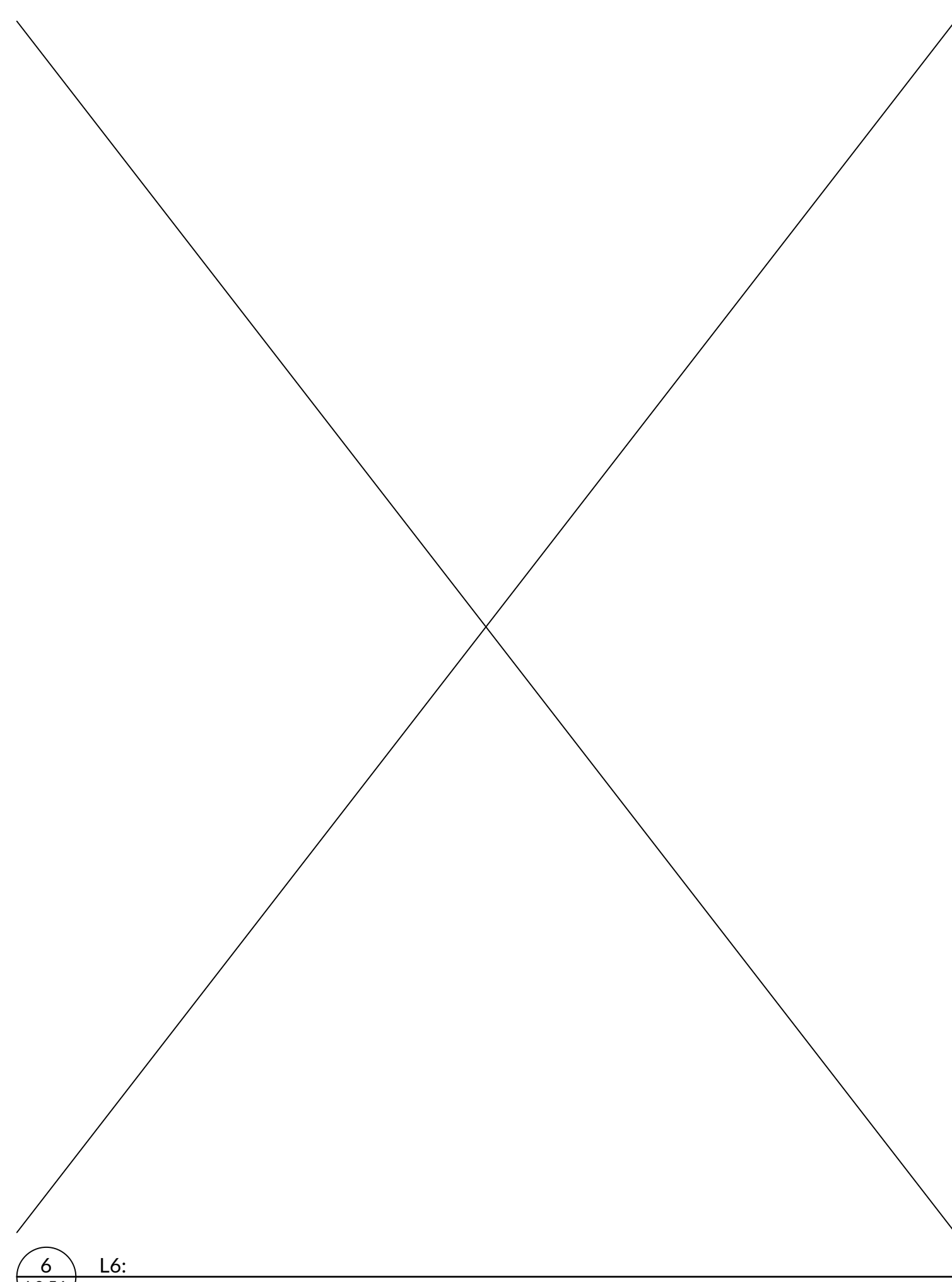
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SCALE: 1/16" = 1'-0"



LIGHTING PLAN

L0.50



6 L6:
L0.51

SPJ LIGHTING Inc.
ARCHITECTURAL LANDSCAPE & OUTDOOR LIGHTING


SPECIFICATION SHEET

Recessed

SPJ-MSL2

Recessed

SPJ-MSL2



MODEL: SPJ-MSL2
MATERIAL: Solid Brass
FINISH SHOWN: PVD Satin
ELECTRICAL: 12V, 120V
WATTAGE: 2W
ENGINE: FB-LS2
LUMENS: 150
MOUNTING: Recessed

FINISHES

- Matte Bronze (MBR)
- Verde (V)
- Moss (M)
- Black (B)
- Rusty (R)
- Satin Brass (SB)
- Aged Brass (AG)
- Raw Copper (RC)
- Natural Copper (NC)

PVD PREMIUM

- PVD Polished (PVP)
- PVD Satin (PVS)
- PVD Graphite (PVG)
- PVD Bronze (PVB)
- PVD Black (PVBK)

WATTAGE LUMENS

- 2W 150

Custom lumen packages are available upon request.

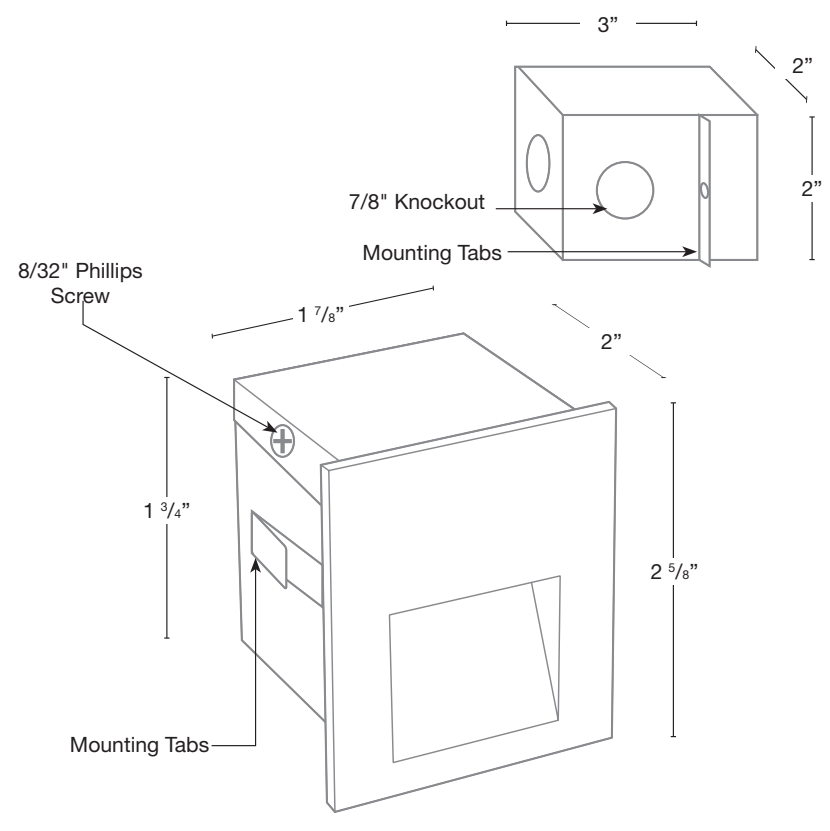
COLOR TEMPERATURE

- 2200K 5000K
- 2700K 6500K
- 3000K RGBW
- 4000K WARM DIMMING


Custom options are available.

ELECTRICAL

- 12V 120V



ALTERNATE VIEW



Wet Listed

Ordering Example: SPJ-MSL2-PVDS-2W-27K-12V

Customer Approval: _____ Date: _____

4 L4:
L0.51


SPJ LIGHTING Inc.
ARCHITECTURAL LANDSCAPE & OUTDOOR LIGHTING

SPECIFICATION SHEET

Forever Bright

Forever Bright

SPJ-SC-9



Model: SPJ-SC-9
Finish: Matte Bronze

Finish: Our naturally etched finishes will withstand the test of time. All finishes are individually treated ensuring consistency. Our meticulous application results in a fixture that truly becomes "a one of a kind".

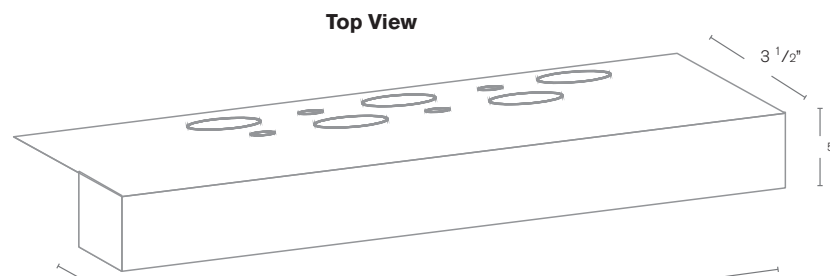
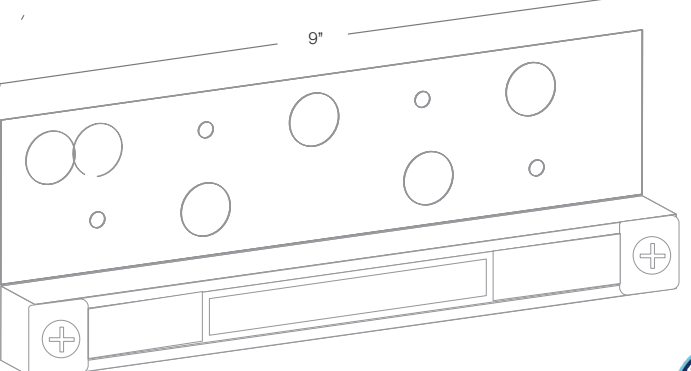
Electrical: Available in 9-15V

Labels: ETL Standard Wet Label C-ETL

Recessed Step Light

DESCRIPTION

Model#: SPJ-SC-9
Lumens: 125
Color Temp: 2700K
Electrical: 9-15V
Mounting: Recessed
LED: Nichia

ETL Wet Listed

Wet Listed

SPJ Approval: _____ Customer Approval: _____

ORDERING INFORMATION

Model#	Finishes	Wattage	Lumens	Color Temp.	Electrical
SPJ-SC-9	MBR	1W	125	2700K	9-15V

V = Verde GM = Gun Metal 1W = 1W 125 = 125 2700K = 2700K 9-15V = 9-15V
 M = Moss B = Black 2W = 2W 150 = 150 4000K = 4000K 6500K = 6500K
 AG = Aged Brass R = Rusty 3W = 3W 200 = 200 3000K = 3000K RGBW = RGBW
 MBR = Matte Bronze PVP = PVD Polished 6W = 6W 300 = 300
 SB = Satin Brass PVS = PVD Satin

WWW.SPJLIGHTING.COM

2 L2:
L0.51


WARM WHITE 6W 150' CORD
ENGINEERED WITH HYDROCOOL™ TECHNOLOGY TO PROVIDE LONG-LASTING PERFORMANCE.

SKU #JLUWW6W150

TRADE SERIES EXCLUSIVE

The Jandy WaterColors Nicheless LED lights with HydroCool™ technology use an innovative, energy-efficient design that harnesses the cooling power of...

[Read more](#)



Color: White Only - Warm White

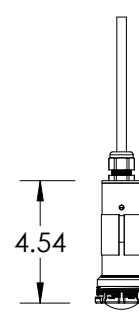
Wattage: 6W

Cord Length: 150'LT

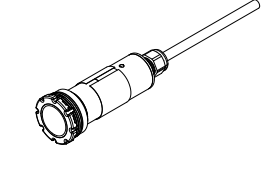
Color Temperature

- 2200K 5000K
- 2700K 6500K
- 3000K RGBW
- 4000K WARM DIMMING


Wet Listed



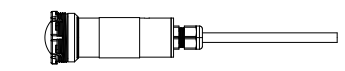
TOP VIEW



ISOMETRIC VIEW



FRONT VIEW



RIGHT VIEW

5 L5:
L0.51

SPJ LIGHTING Inc.
ARCHITECTURAL LANDSCAPE & OUTDOOR LIGHTING


SPECIFICATION SHEET

Marker Light & Accent

SPJ-GDG-LB1

Marker Light & Accent

SPJ-GDG-LB1



MODEL: SPJ-GDG-LB1
MATERIAL: Solid Brass
FINISH SHOWN: PVD Satin
ELECTRICAL: 8-15V, 120V
WATTAGE: 3W
ENGINE: FB-3W-CYL-TA16
LUMENS: 200
OPTIC: Wide Angle Flood
MOUNTING: Recessed

FINISHES

- Matte Bronze (MBR)
- Verde (V)
- Moss (M)
- Black (B)
- Rusty (R)
- Satin Brass (SB)
- Aged Brass (AG)
- Raw Copper (RC)
- Natural Copper (NC)

PVD PREMIUM

- PVD Polished (PVP)
- PVD Satin (PVS)
- PVD Graphite (PVG)
- PVD Bronze (PVB)
- PVD Black (PVBK)

WATTAGE LUMENS

- 1W 80
- 2W 150
- 3W 200
- 6W 300

Custom lumen packages are available upon request.

COLOR TEMPERATURE

- 2200K 5000K
- 2700K 6500K
- 3000K RGBW
- 4000K WARM DIMMING

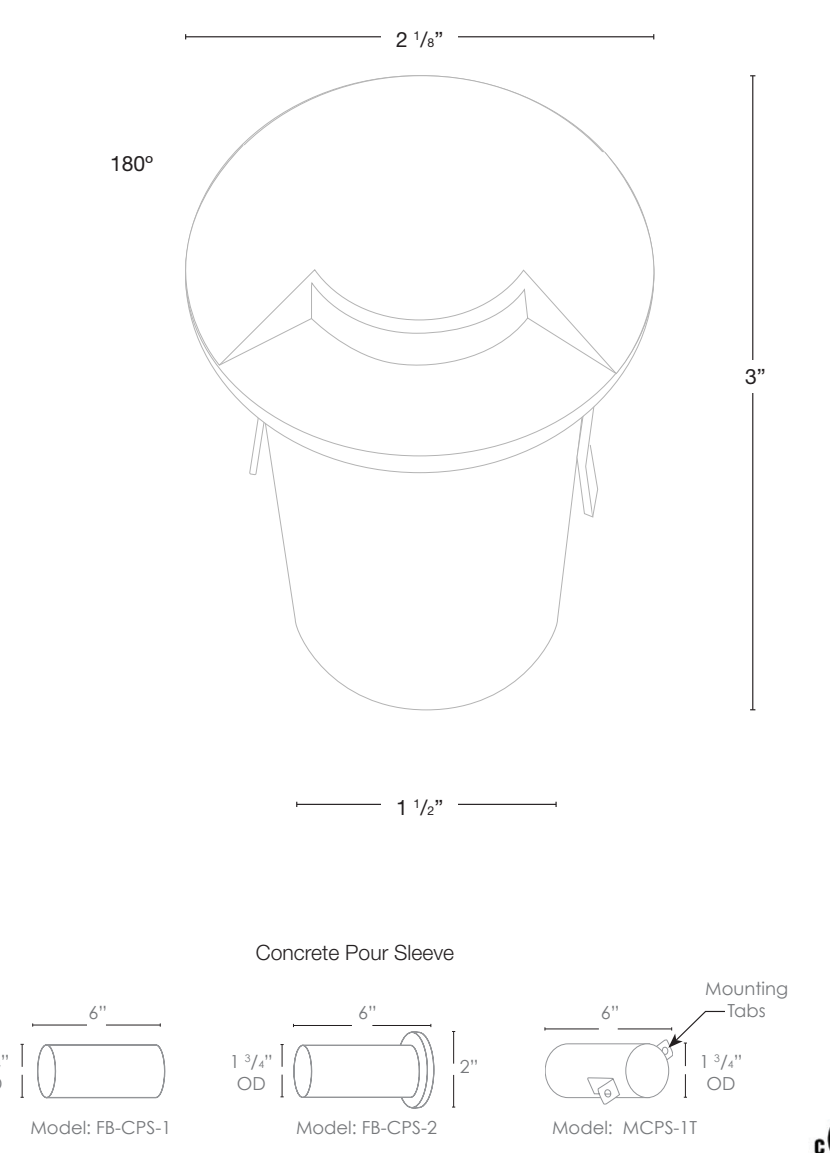
Custom options are available.

ELECTRICAL


- 8-15V 120V

OPTICS

- SPOT 194
- FLOOD 384
- WIDE FLOOD 544
- WIDE ANGLE FLOOD 1204



Concrete Pour Sleeve



Wet Listed

Ordering Example: SPJ-GDG-LB1-PVDS-3W-27K-8-15V

Customer Approval: _____ Date: _____

3 L3:
L0.51

SPJ LIGHTING Inc.
ARCHITECTURAL LANDSCAPE & OUTDOOR LIGHTING

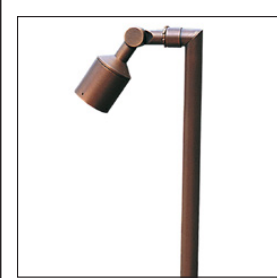
SPECIFICATION SHEET

Contemporary Path Lights

SPJ18-16

Contemporary Path Lights

SPJ18-16



MODEL: SPJ18-16
MATERIAL: Solid Brass
FINISH: Matte Bronze
ELECTRICAL: 8-15V
ENGINE: FB-3W-CYL-TA16
LUMENS: 200
COLOR TEMP: 2700K
MOUNTING: 1/2" NPT. Dual Fin Spike Included
LED: Nichia

FINISHES

- Matte Bronze (MBR)
- Verde (V)
- Moss (M)
- Black (B)
- Rusty (R)
- Satin Brass (SB)
- Aged Brass (AG)
- Raw Copper (RC)
- Natural Copper (NC)

PVD PREMIUM

- PVD Polished (PVP)
- PVD Satin (PVS)
- PVD Graphite (PVG)
- PVD Bronze (PVB)
- PVD Black (PVBK)

WATTAGE LUMENS

- 1W 80
- 2W 150
- 3W 200
- 6W 300

Custom lumen packages are available upon request.

COLOR TEMPERATURE

- 2200K 5000K
- 2700K 6500K
- 3000K Amber (TF)
- 4000K RGBW

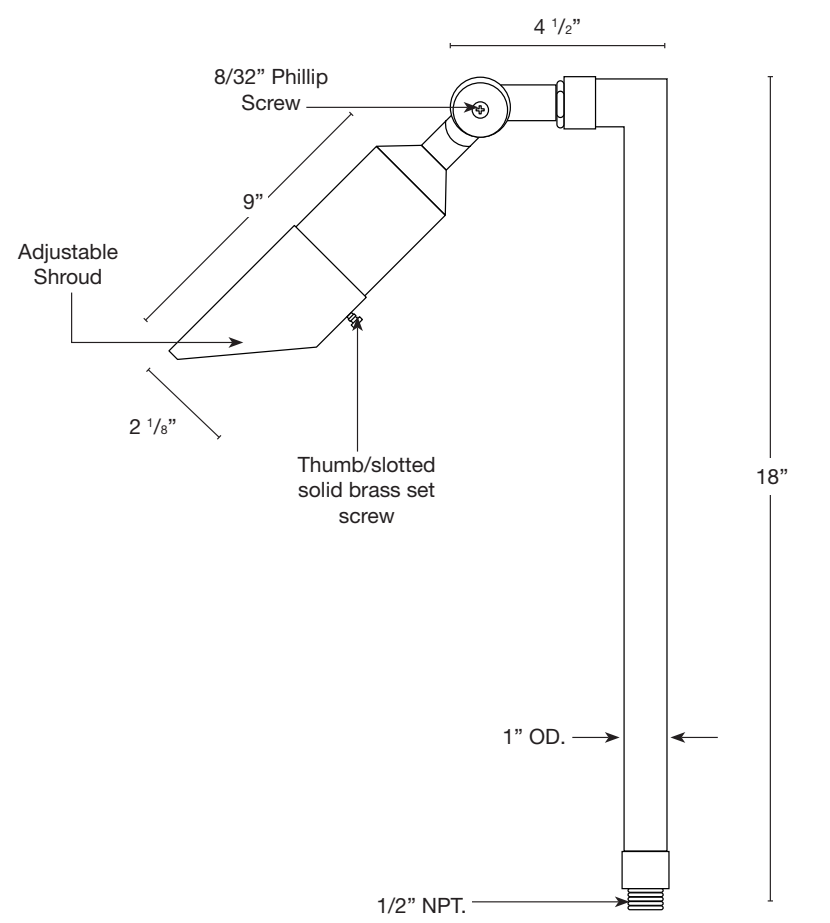
Custom options are available.

ELECTRICAL


- 8-15V 120V

OPTICS

- SPOT FLOOD
- WIDE FLOOD WIDE ANGLE FLOOD



Model: SPJ14-51 Adjustable Shroud



Wet Listed

Ordering Example: SPJ18-16-MBR-3W-27K-8-15V

Customer Approval: _____ Date: _____

1 L1:
L0.51

ARTERRA
 LANDSCAPE ARCHITECTS
 88 MISSOURI SAN FRANCISCO 94107
 415.866.13100
 arterrasf.com



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LIGHTING CUT SHEETS

L0.51



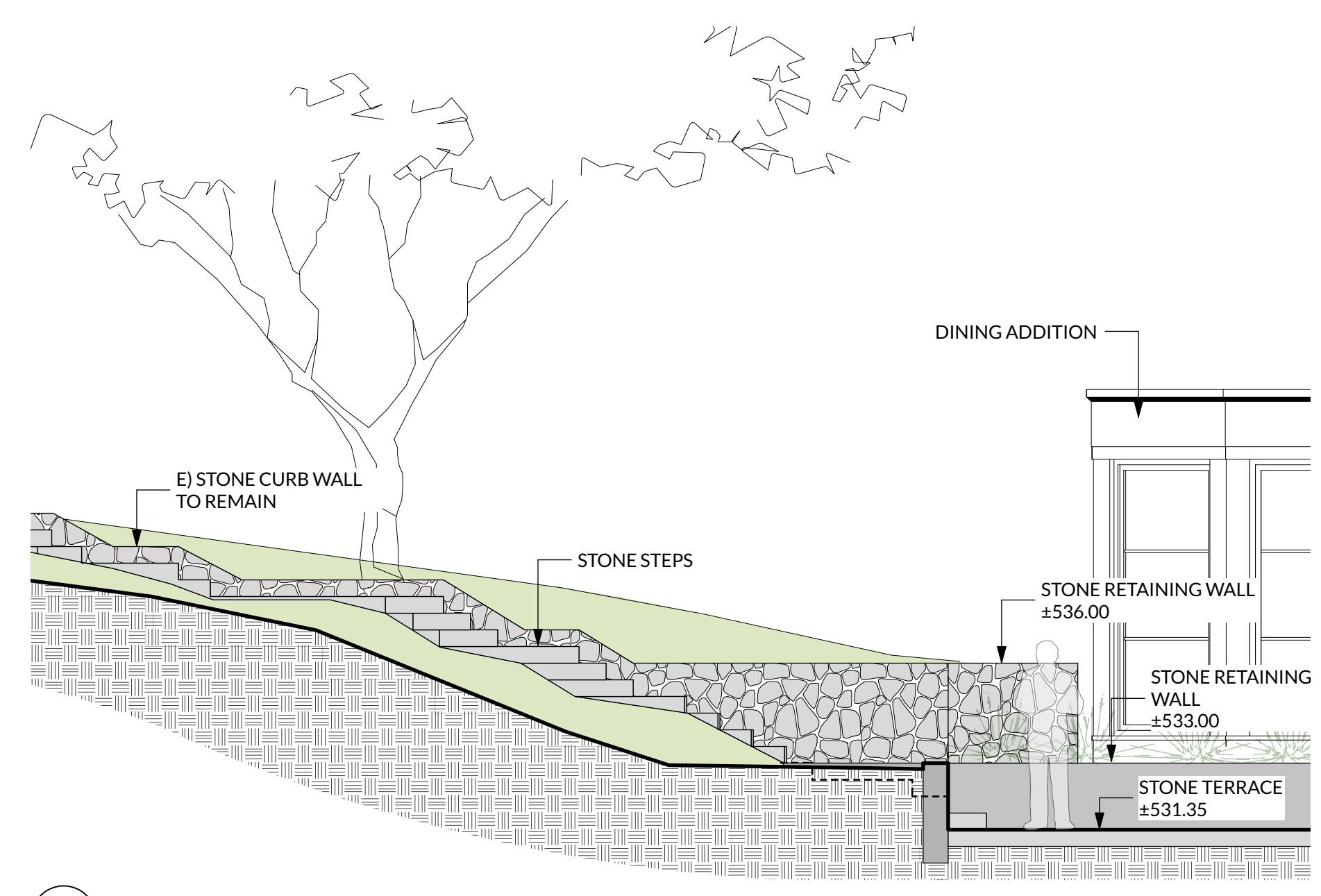
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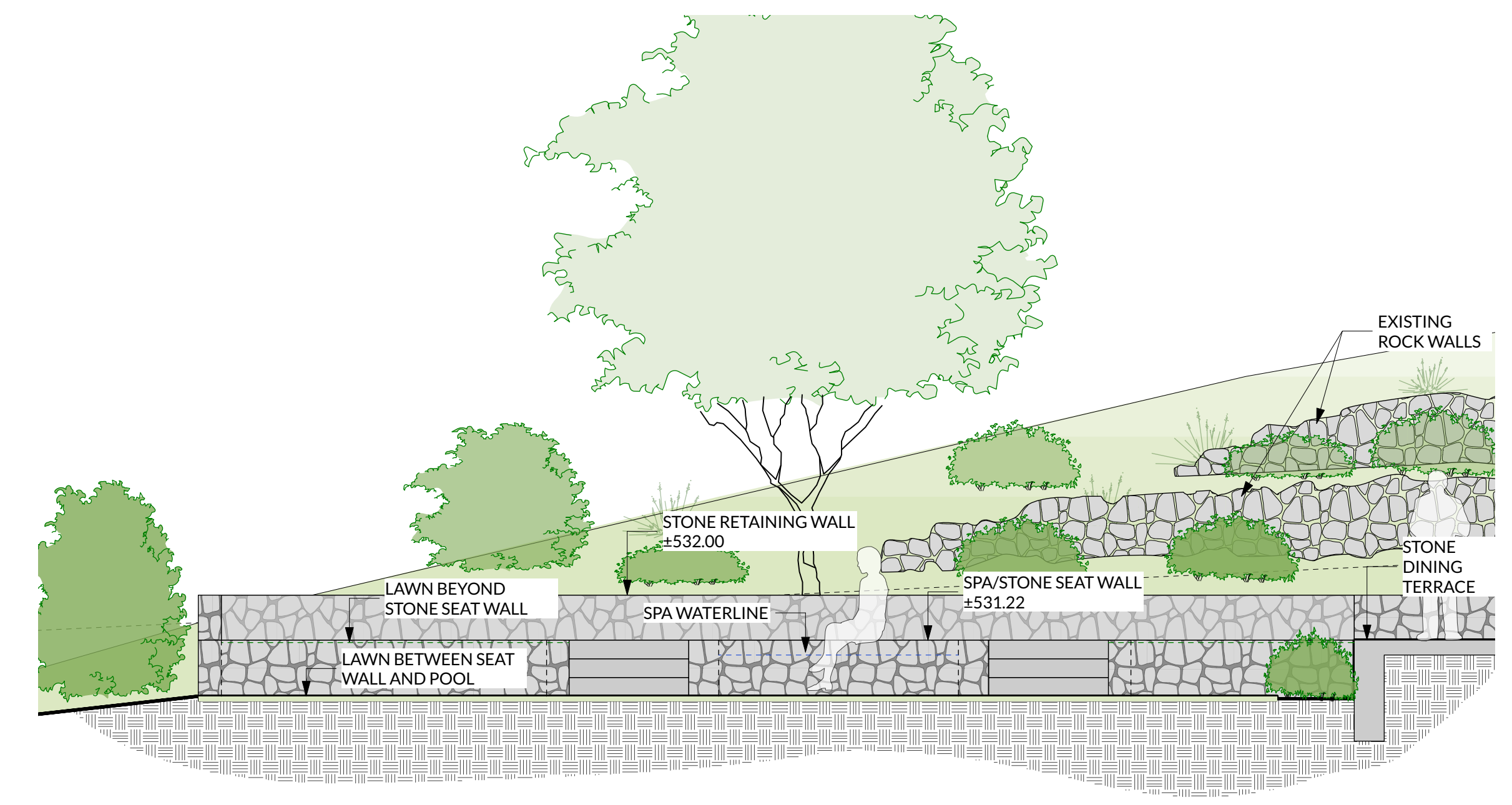
SCALE: AS NOTED

SECTIONS AND ELEVATIONS

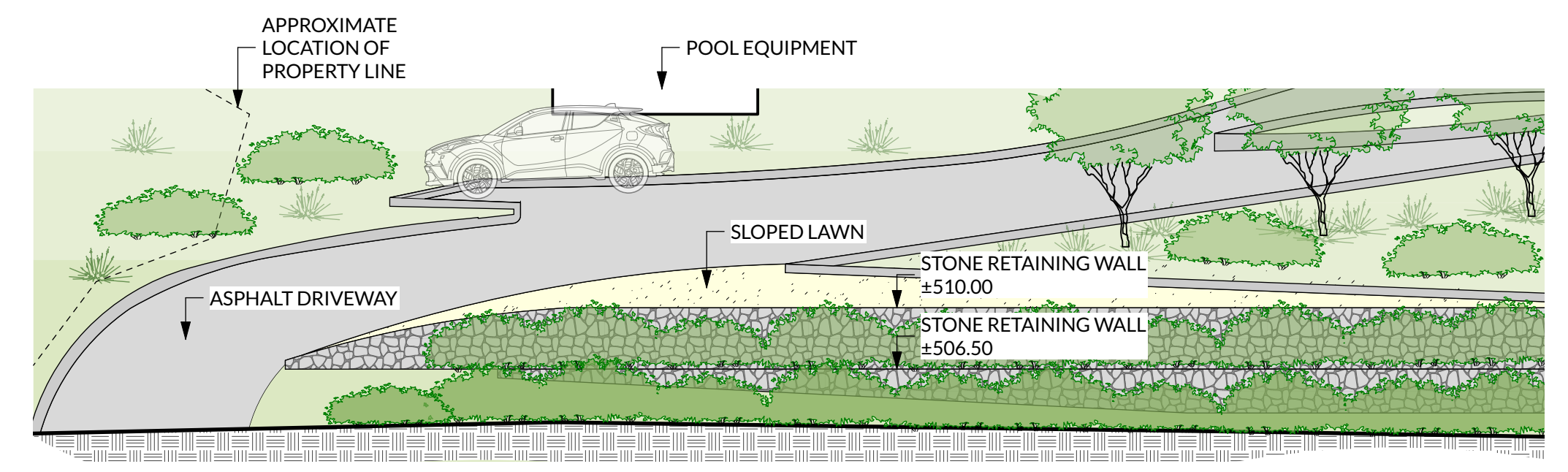
L1.20



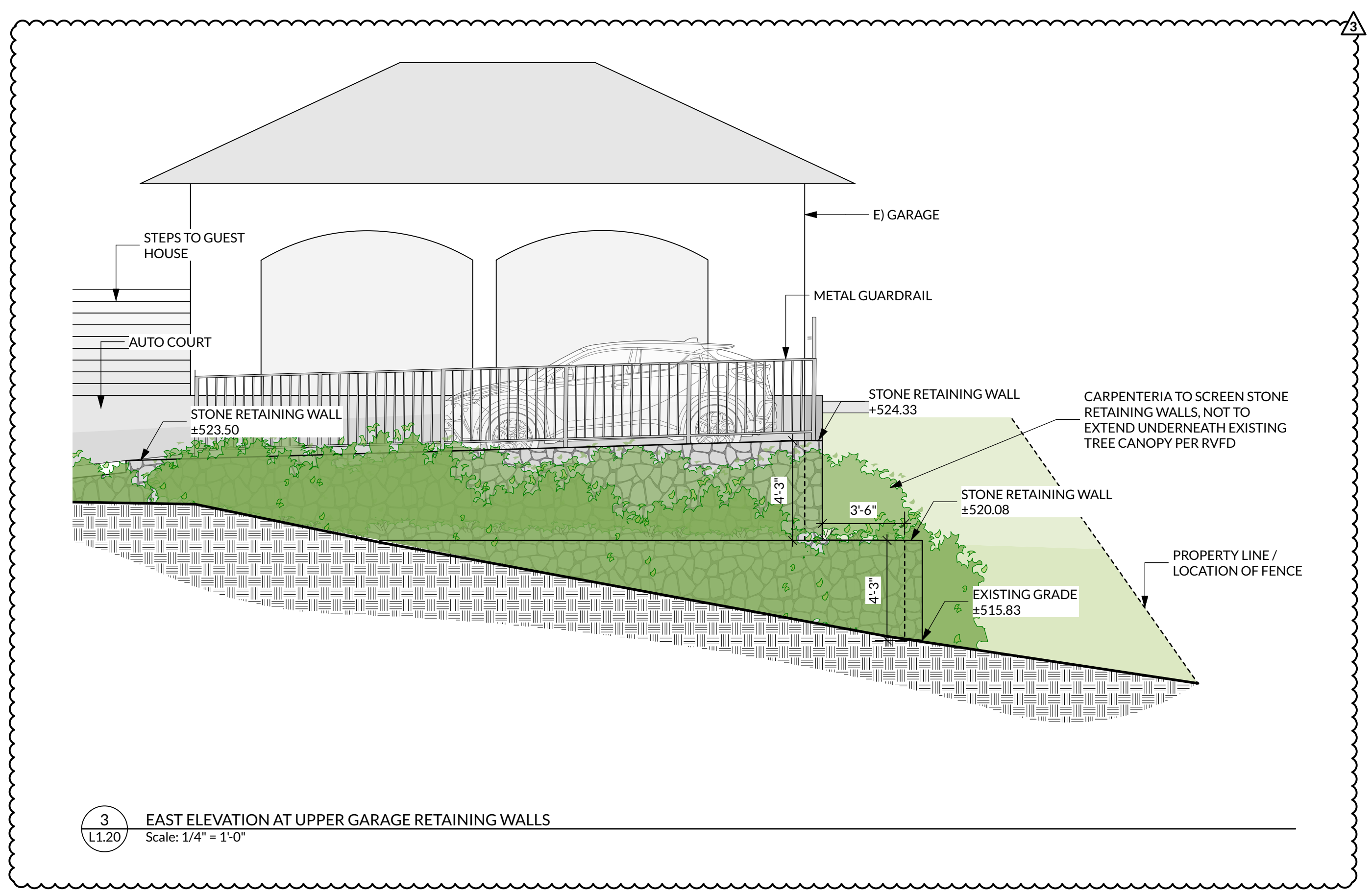
5
 NORTH ELEVATION AT HILLSIDE STEPS AND RETAINING WALL
 Scale: 1/4" = 1'-0"



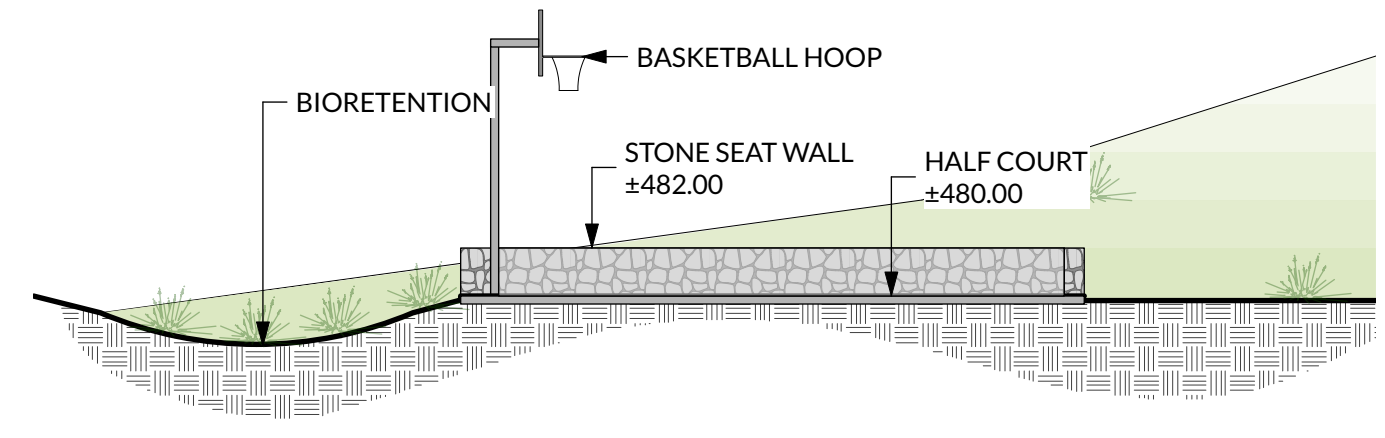
4
 EAST ELEVATION AT SPA AND UPPER LAWN
 Scale: 1/4" = 1'-0"



2
 EAST ELEVATION AT LOWER LAWN AND DRIVE
 Scale: 1/8" = 1'-0"



3
 EAST ELEVATION AT UPPER GARAGE RETAINING WALLS
 Scale: 1/4" = 1'-0"



1
 EAST ELEVATION AT SPORT COURT
 Scale: 1/8" = 1'-0"

ATTACHMENT 3



Town of Ross
Planning Department
 Post Office Box 320, Ross, CA 94957
 Telephone (415) 453-1453, Ext. 121
 Fax (415) 453-1950 www.townofross.org

PLANNING APPLICATION FORM

Type of Application
(check all that apply):

- | | |
|--|---|
| <input type="checkbox"/> Accessory Dwelling Unit | <input type="checkbox"/> Minor Exception Permit |
| <input type="checkbox"/> Accessory Dwelling Unit Exception | <input type="checkbox"/> Minor Nonconformity Permit |
| <input type="checkbox"/> Appeals | <input type="checkbox"/> Nonconformity Permit |
| <input type="checkbox"/> Certificate of Compliance | <input type="checkbox"/> Tentative Map |
| <input type="checkbox"/> Demolition Permit | <input type="checkbox"/> Tentative Map Amendment |
| <input checked="" type="checkbox"/> Design Review | <input type="checkbox"/> Time Extension |
| <input type="checkbox"/> Design Review- Amendment | <input type="checkbox"/> Use Permit |
| <input type="checkbox"/> Exceptions for Attics | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Final or Parcel Map | <input type="checkbox"/> Zoning Ordinance Amendment |
| <input type="checkbox"/> General Plan Amendment | |
| <input type="checkbox"/> Hillside Lot Permit | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Junior Accessory Dwelling Unit | |
| <input type="checkbox"/> Lot Line Adjustment | |

To Be Completed by Applicant:

Assessor's Parcel No(s): 073-121-09

Project Address: 21 Glenwood Avenue, Ross CA 94957

Property Owner: Glenwood Ross LLC

Owner Mailing Address (PO Box in Ross): 135 Main Street, Ste 850

City/State/Zip: San Francisco, CA 94105 Owner's Phone: _____

Owner's Email: _____

Applicant: Stephen Sutro, Sutro Architects

Applicant Mailing Address: 1055 Post Street

City/State/Zip: San Francisco, CA 94109 Applicant's Phone: (415) 956-3445

Applicant's Email: ssutro@sutroarchitects.com

Primary point of Contact Email: Owner Buyer Agent Architect

To Be Completed by Town Staff:

Date Received: _____
 Application No.: _____
 Zoning: _____

Date paid: _____ TOTAL FEES: _____

Make checks payable to Town of Ross. Fees may not be refunded if the application is withdrawn.

SUBDIVISION INFORMATION ONLY

Number of Lots: _____

LOT LINE ADJUSTMENT ONLY

Describe the Proposed Lot Line Adjustment:

Existing Parcel Size(s)	Parcel 1:	Parcel 2:
Adjusted Parcel Size(s)	Parcel 1:	Parcel 2:

PARCEL ONE

PARCEL 2

Owners Signature:	Owner's Signature:
Date:	Date:
Owner's Name (Please Print):	Owner's Name (Please Print):
Assessor's Parcel Number:	Assessor's Parcel Number:

* If there are more than two affected property owners, please attach separate letters of authorization.

REZONING OR TEXT AMENDMENT ONLY

The applicant wishes to amend Section _____ of the Ross Municipal Code Title 18. The applicant wishes to Rezone parcel _____ from the _____ Zoning District to _____.

GENERAL OR SPECIFIC PLAN AMENDMENT ONLY

Please describe the proposed amendment:

CERTIFICATION AND SIGNATURES

I, the property owner, do hereby authorize the applicant designated herein to act as my representative during the review process by City staff and agencies.

Owner's Signature: D. M. G. Date: 11/22/2024

I, the applicant, do hereby declare under penalty of perjury that the facts and information contained in this application, including any supplemental forms and materials, are true and accurate to the best of my knowledge.

Owner's Signature: D. M. G. Date: 11/22/2024

SIGNATURE:

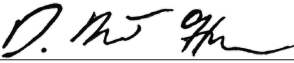
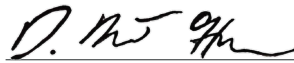
I hereby authorize employees, agents, and/or consultants of the Town of Ross to enter upon the subject property upon reasonable notice, as necessary, to inspect the premises and process this application.

I hereby authorize Town staff to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.

I further certify that I understand the processing procedures, fees, and application submittal requirements.

I hereby certify that I have read this application form and that to the best of my knowledge, the information in this application form and all the exhibits are complete and accurate. I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for rejecting the application, deeming the application incomplete, denying the application, suspending or revoking a permit issued on the basis of these or subsequent representations, or for the seeking of such other and further relief as may seem proper to the Town of Ross. I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that this application was signed at

_____ Ross _____, California on 11/22/2024

 and 
Signature of Property Owner(s) Applicant(s) Signature of Plan Preparer

Notice of Ordinance/Plan Modifications

- Pursuant to Government Code Section 65945(a), please indicate, by checking this box, if you would like to receive a notice from the Town of any proposal to adopt or amend the General Plan, a specific plan, zoning ordinance, or an ordinance affecting building permits or grading permits, if the Town determines that the proposal is reasonably related to your request for a development permit.

Alternate Format Information

The Town of Ross provides written materials in an alternate format as an accommodation to individuals with disabilities that adversely affect their ability to utilize standard print materials. To request written materials in an alternate format please contact us at (415) 453-1453, extension 105.

Consultant Information

The following information is required for all project consultants.

Landscape Architect

Firm Arterra Landscape Architects
 Project Landscape Architect Gretchen Whittier
 Mailing Address 88 Missouri Street
 City San Francisco State CA ZIP 94107
 Phone 1 (415) 861-3100 Fax _____
 Email gretchen@arterrasf.com
 Town of Ross Business License No. _____ Expiration Date _____

Civil/ Geotechnical Engineer

Firm Munselle Civil Engineering
 Project Engineer Dan Hughes
 Mailing Address 513 Center Street
 City Healdsburg State CA ZIP 95448
 Phone (707) 775-8986 Fax _____
 Email dan@munsellecivil.com
 Town of Ross Business License No. _____ Expiration Date _____

Arborist

Firm Arborscience
 Project Arborist Kent Julin
 Mailing Address P.O. Box 111
 City Woodacre State CA ZIP 94973
 Phone (415) 419-5197 Fax _____
 Email kent.julin@gmail.com
 Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
 Mailing Address _____
 City _____ State _____ ZIP _____
 Phone _____ Fax _____
 Email _____
 Town of Ross Business License No. _____ Expiration Date _____

Other

Consultant _____
 Mailing Address _____
 City _____ State _____ ZIP _____
 Phone _____ Fax _____
 Email _____
 Town of Ross Business License No. _____ Expiration Date _____

Public Welfare

That the granting of a variance will not be detrimental to the public welfare or injurious to other property in the neighborhood in which said property is situated. **Describe why the variance will not be harmful to or incompatible with other nearby properties.**

Neighborhood Outreach – *Shall be conducted for all discretionary planning projects.*

A neighborhood outreach description shall be prepared by the applicant. The description shall include how neighborhood outreach was conducted, dates neighbors were contacted, any meetings held, the specific concerns of neighbors and how those concerns were mediated (through changes to the proposal, site visits, etc.).

Neighborhood Outreach for (insert project address)				
NAME	ADDRESS	DATE CONTACTED	CONCERNS (IF ANY)	RESOLUTION

***Landscape Plan-**

All landscape plans must conform to the requirements of the Marin Municipal Water District (MMWD) Ordinance 414. Contact [MMWD](#) prior to submitting. Indicate whether project includes 500 square feet or more of landscape area per Model Water Efficiency Landscape Ordinance (MWELo) requirements.

***Vegetation Management Plan-**

Required for all projects located within the Wildlife Urban Interface (WUI) zone. Please submit VMP as a sheet in the required plan sets. For more information contact RVFD at 415.258.4673

21 Glenwood Avenue Neighborhood Outreach-

Neighborhood Outreach for 21 Glenwood Ave				
NAME	ADDRESS	DATE CONTACTED	CONCERNS (IF ANY)	RESOLUTION
Diane & Frank Doodha	23 Glenwood Ave	Contacted by text on 11/6 and held onsite meeting 11/18 with architect to review plans	No comments on building plans. The Doodhas expressed interest in improved screening between our properties as part of our landscape plan	Incorporating requested screening to the extent allowed by vegetation management plan
Katelin Mezzetta	2 Upper Rd	Sent plans by email on 11/6 and offered follow up	No comments	
Hadley Mullin	20 Glenwood Ave	Sent plans by email on 11/6 and offered follow up	No comments	
Lushtak Family	4 Upper Rd	Contacted by text on 11/6 and offered meeting and/or to send plans. Contacted again by email on 11/22. Still have not received any	No comments	
Bob Dickinson	41 Glenwood Ave	Contacted by email on 11/6 and met on-site to review plans on 11/17	No comments on building or landscape plans. Bob made requests regarding construction management	Intend to follow Bob's requests on construction management to the extent possible

21 Glenwood Avenue Neighborhood Outreach-

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Lushtak Family	4 Upper Rd	Contacted by text on 11/6 and offered meeting and/or to send plans. Contacted again by email on 11/22. Still have not received any	No comments	
Bob Dickinson	41 Glenwood Ave	Contacted by email on 11/6 and met on-site to review plans on 11/17	No comments on building or landscape plans. Bob made requests regarding construction management	Intend to follow Bob's requests on construction management to the extent possible

ATTACHMENT 4

MINUTES

Meeting of the Ross
Advisory Design Review Group
January 21, 2025, 6:00pm

Video and audio recording of the meeting is available online at the Town's website at:
townofrossca.gov/meetings.

1. 6:00 p.m. Commencement

Vice Chair Buckingham called the meeting to order.

Present: Mark Fritts, Laura Dewar, Joey Buckingham and Stephen Sutro; Roberta Feliciano (Planning and Building Director)

Absent: Mark Kruttschnitt, Alex Lopez-Vega (Assistant Planner)

2. Approval of Minutes.

The ADR Group approved the minutes from December 17, 2024.

3. Open Time for Public Comments

No comments were provided.

4. Planning Applications/Projects

- a. **Property Address:** 200 Lagunitas Road
 A.P.N.: 073-131-23
 Applicant: Strata Landscape Architecture- Elaine Xie
 Property Owner: Scott and Sarah Niehaus
 Zoning: R-1:B-A
 General Plan: VL (Very Low Density)
 Flood Zone: X (Moderate to Low)

Project Summary: The applicant requests a recommendation to the Town Council for Design Review and a Variance. The project proposes to rehabilitate the side yard landscape to include a new swimming pool and spa, artificial turf, fire pit, patio, outdoor kitchen, retaining walls, plantings, and exterior light fixtures. The project also proposes a new auto gate that will measure 6-feet tall with two stone columns measuring 6 feet and 6 inches. A Variance is required to construct an outdoor kitchen and patio in the side yard setback.

Mark Fritts

- Supports the project
- Concurs with ADR members

Laura Dewar

- Supports the project
- No other comments

- Supports the project

Stephen Sutro

- Supports the project as submitted

Joey Buckingham - Recused

b.	Property Address:	12 Canyon Road
	A.P.N.:	072-031-52
	Applicant:	Imprints Landscape Architecture
	Property Owner:	Renaud Laplanche
	Zoning:	R-1:B-5A
	General Plan:	VL (Very Low Density)
	Flood Zone:	X (Moderate Risk)

Project Summary: The applicant requests a recommendation to the Town Council for Design Review, a Hillside Lot permit, and a Variance. The project proposes to construct a raised platform sports court in the lower part of the rear yard. The court will feature a 7-foot concrete rebound wall on the south side of the court and a 4-foot glass railing on the west side of the court. Exterior lighting will be low voltage and down shielded. A Variance is required to construct a concrete wall over 6 feet.

Mark Fritts

- While there's improvements, still does not think it is an appropriate spot
- Appreciates the updates
- Position overall has not changed from last time, and the overall intent of this project
- Doesn't meet the guidelines as mentioned in the neighbor letters
- It's inappropriate for this particular site
- Notice the canyon has already been filled in from the north by the pool and the terrace
- Appreciates the effort to minimize the project, however it is still in an inappropriate location for the difficult site
- They made an effort to keep their own yard that is flat clear for this particular structure and add it to the external part of the site
- Don't think its an appropriate solution

Laura Dewar

- Supports the project with the changes made
- Appreciates all the changes made
- Lowering the court helps
- Changing the fence from solid to glass makes it feel a lot lighter as it integrates into the landscape
- Moving it further away from the property line, its not encroaching into the setbacks
- Feels that it's within the owners right as a property owner to utilize their yard
- It's not in the setback
- They have been accommodating based on the last meeting

Joey Buckingham

- Supports the project as drawn
- They have made an effort to address all of the ADR's concerns from the last meeting
- Feels the regulations of the hillside lot, are not applicable to this lot because it's a canyon and it's their own canyon
- The court is way out of the setbacks
- They pushed it down
- It is not visible and can't be seen.
- They are deep in a canyon, and basically continuing their own development which filled that canyon
- That's their piece of property
- They made a big effort to push it down
- It will be a non-issue once it's built
- Fun place for their family to recreate

Stephen Sutro

- Overall supports the project
- Struggles with the design review section, in respecting natural landform to not build large retaining walls, spanning a canyon
- Supports it because it's not significantly visible, recognizes its visibility from neighbor property, but its not as significant enough as appearance to make it feel that it is significant alteration of the natural topography that's visible from various properties
- Thinks if this project was publicly visible, maybe would not be able to support it

c.	Property Address:	21 Glenwood Avenue
	A.P.N.:	073-121-09
	Applicant:	Sutro Architects
	Property Owner:	Glenwood Ross LLC
	Zoning:	R-1:B-A
	General Plan:	VL (Very Low Density)
	Flood Zone:	X (Moderate to Low)

Project Summary: The applicant requests a recommendation to the Town Council for Design Review and a Demolition Permit. The project proposes both interior and exterior renovations, along with several additions, including a new pool house, a family dining area on the main floor, a second-story addition, and basement addition, totaling 2,347 square feet of new floor area. The remodel will also update the south and west facades with the existing residence. Additionally, the project includes rehabilitating the existing landscape and installing a sport court in the southeast section of the lot. A Demolition permit is required to alter more than twenty-five percent of the exterior walls or wall coverings of a residence.

Joey Buckingham

- Supports the project as drawn with a few designs comments
- Would like to see that corner driveway to be resolved (retaining walls) whether with landscape improvements or breaking that heavy corner over the neighbor's lot
- Really likes how the roof structure has been cleaned up and forms have been standardized
- The one design comment would be that the two flat roofs structures, the dormer and octagon nook feel heavy
- Overall the project is well designed and supports it

Laura Dewar

- It's a really nice renovation and upgrade to the exterior to increase the square footage without drastically increasing the massing
- The design of the house is really nice
- Likes the materials
- No issue with the pool house, its not in the setback
- One concern is the retaining wall for the corner driveway
- Overall supports the project with the concern of the wall

Mark Fritts

- Concurs with Laura's comments and with the architecture approach
- It's an interesting lot with all the accessory buildings
- Overall, supports the project
- A few recommendations, work with the neighbors on the downside around the retaining walls, stake them out
- Ensure there's enough tree coverage between the two walls
- The pool house (purely design) likes the location, would of like to see the same vocabulary as the out buildings instead of the main house
- The octagon breakfast nook, unusual geometric approach didn't feel with keeping with the rest of the upgrades to unify the home
- Supports the project, great update and materials

Stephen Sutro- Recused

Adjournment at 7:10 PM.

The next scheduled regular meeting date and time will be February 25, 2025, at 6:00 PM.